

BOARD MEETING AGENDA

Coon Creek Watershed District Offices - Board Room
Monday, July 22, 2024, 5:30 p.m.

Board of Managers:

Jim Hafner, President; Erin Lind, Vice President; Jason Lund, Secretary; Mary Campbell, Treasurer; Dwight McCullough, Member at Large

Note: Individuals with items on the agenda or who wish to speak to the Board are encouraged to be in attendance when the meeting is called to order.

- 1. Call to Order**
- 2. Approval of the Agenda** (*Additions/Corrections/Deletions*)
- 3. Announcements**
- 4. Open Mic/Public Comment**

*Members of the public at this time may address the Board, for **up to three minutes**, on a matter not on the Agenda. Individuals wishing to be heard must sign in with their name and address at the door. Additional comments may be accepted in writing. Board action or discussion should **not** be expected during the presentation of public comment/open mic. Board members may direct staff to research the matter further or take the matter under advisement for consideration at a future Board meeting.*

CONSENT ITEMS

The consent agenda is considered as one item of business. It consists of routine administrative items or items not requiring discussion. Items can be removed from the consent agenda at the request of a Board member, staff member or a member of the audience.

- 5. Approval of Minutes of July 8th, 2024**
- 6. Approval of Bills for Payment**

POLICY ITEMS

- 7. Summary of July 8 Closed Session of the Board of Managers**

PERMIT ITEMS

- 8. P24-027 Universal Services**
- 9. P24-010 Xylite Building**

DISCUSSION ITEMS

- 10. Comprehensive Plan Clarification of Ham Lake Comments**
- 11. Preliminary Draft 2025 Budget**

INFORMATIONAL ITEMS

- 12. CCWD on local TV News**
- 13. REMINDER: July 29 Public Hearing on Comprehensive Plan Comments**

ADJOURN

COON CREEK WATERSHED DISTRICT BOARD OF MANAGERS' MEETING

The Board of Managers of the Coon Creek Watershed District held their regular meeting on Monday, July 8, 2024, at the Coon Creek Watershed District Office.

1. Call to Order

The meeting was called to order at 5:30 PM

Board Members Present: Erin Lind, Jim Hafner, Mary Campbell & Dwight McCullough

Board Member Absent: Jason Lund

Staff Present: Tim Kelly, Corinne Elfelt, Jason Hilst & Michelle Ulrich

Staff Present on Zoom: Abbey Lee, Jon Janke, Dawn Doering

2. Approval of the Agenda

Board Member McCullough moved to amend the agenda, moving Permit Items 9- CenterPoint Energy – 89th Ave and 10- Clocktower Commons Restaurants to the Consent Agenda. Seconded by Board Member Lind. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

Board Member Campbell moved to amend the agenda, moving Discussion Item 14 – Performance Review of Administrator to the last item on the agenda. Seconded by Board Member McCullough. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

3. Announcements

Administrator Kelly announced that Unity Hospital will be notified of a stormwater violation and briefed the Board on the issue so they are prepared for any comments that may come to them.

4. Open Mic/Public Comment

No one was present for comment.

CONSENT ITEMS

5. Approval of Minutes of June 17, 2024 (regular and tour)

Tour Minutes will be corrected by adding Erin Lind to those attending and approved with the correction made.

6. Administrator's Report

7. Advisory Committees Report

8. Approval of Bills for Payment:

Claims totaling \$299,970.39 for June 24, 2024, & \$42,663.08 for July 8, 2024, on the following disbursement(s) list will be issued and released upon Board approval.

Vendor	Amount
V0015--ANOKA COUNTY MN	151,016.09
V0025--CITY OF BLAINE	3,690.00
V0037--ECM PUBLISHERS INC	217.80
V0050--LEAGUE OF MN CITIES INSURANCE TRUST	1,045.00
V0090--CENTERPOINT ENERGY-UTILITY	35.86
V0111--WELL GROOMED LAWNS INC	860.00
V0115--METRO CONSERVATION DISTRICT	750.00
V0121--LEE, ABBEY M	227.80
V0128--YTS COMPANIES LLC	5,118.75
V0138--RMB ENVIRONMENTAL LABORATORIES INC	237.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	144.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	93.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	144.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	1,104.00
V0150--PROWIRE INC	276.00
V0150--PROWIRE INC	695.00
V0195--STANTEC CONSULTING SERVICES INC	2,940.00
V0195--STANTEC CONSULTING SERVICES INC	25,714.34
V0195--STANTEC CONSULTING SERVICES INC	16,224.00
V0195--STANTEC CONSULTING SERVICES INC	17,703.75
V0195--STANTEC CONSULTING SERVICES INC	4,128.50
V0221--ABDO LLP	927.50
V0268--ANOKA COUNTY PARKS	60,000.00
V0285--ASSURED SECURITY	6,678.00
Grand total	299,970.39

Vendor	Amount
V0008--US BANK	4,439.00
V0025--CITY OF BLAINE	4,520.00
V0030--CONNEXUS ENERGY	266.48
V0074--VOIGTS BUS COMPANIES	654.58
V0110--RESPEC COMPANY LLC	18,495.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	207.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	144.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	216.00
V0300--HASBROOK, KAILEE	100.50
V0301--JAM HOPS GYMNASTICS FACTORY	4,214.99
V0302--PETTY CASH C/O JULIE PETERSON	105.53
V0303--SHORT ELLIOTT HENDRICKSON INC	6,850.00
V0304--WESTRUM, ANTHONY & CATHY	2,450.00
Grand total	42,663.08

The following Permit Items were moved to the Consent Agenda.

9. 24-034 CenterPoint Energy – 89th Ave

The purpose of this project, located along 89th Ave and Lincoln Street in Blaine, is for a utility installation that crosses Springbrook Creek.

The staff recommendation was to approve permit application number P-24-034 with 2 conditions and 1 stipulation as presented in the staff report:

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$2,145.00.

Rule 4.0 – Soils and Erosion Control

2. Update Erosion & Sediment Control Plan to stabilize soil and soil stockpiles within 24 hours of inactivity.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. Submittal of as-builts for utility crossing under all ditch crossings that shows 4-foot separation is maintained between the bottom of ditch and top of utility line.

10. 24-030 Clocktower Commons Restaurants

The purpose of this project, located on the NW Corner of Hanson Boulevard and Crosstown Boulevard in Andover, is to construct a restaurant and coffee shop with an associated stormwater treatment feature.

The staff recommendation was to approve permit application number P-24-030 with 2 conditions and 3 stipulations as presented in the staff report.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$2,800.00.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. Completion of a post construction infiltration test on the Infiltration Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

Board Member Lind moved to approve the consent agenda items. Seconded by Board Member Campbell. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

POLICY ITEMS

None.

PERMIT ITEMS

All permit items were moved to the consent agenda.

DISCUSSION ITEMS

11. Water Management Asset Condition Assessment

Jason Hilst presented the assessment of the water management asset condition. He covered the condition of 13 assets in total. The overall condition of assets was considered good. The staff recommendation was to receive the report and for staff to schedule reinspection of the assets for 2025.

The Board discussed the construction materials used for weirs, replacement schedules, the location of Andover Lake, and previous blockage issues on Laddie Lake.

Board Member Campbell moved to Receive the Report and have staff schedule the reinspection of the assets in 2025. Seconded by Board Member McCullough. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

12. Rough Draft 2025 Budget

Administrator Kelly reviewed the preliminary rough draft of the 2025 operating budget as outlined in the staff report.

Kelly explained that the budget is geared toward the Water Quality Program. The Board was invited to ask questions regarding the budget. Mr. Kelly explained that if further detail was needed, Board members were to reach out to him and he would provide additional background information.

Board Member McCullough asked that the approximate impact on homeowner taxes be provided at the next meeting.

Staff recommendation was to review, discuss, and receive the rough draft of the budget.

Board Member Lind moved to receive the rough draft of the 2025 budget. Seconded by Board Member Campbell. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

13. Review Comments and Draft Responses – CCWD Comprehensive Plan

The Board received a copy of the comments received on the Comprehensive Watershed Plan and the District's proposed responses.

The Board discussed some of the responses and whether there was a need for further response to some of the comments. The consensus of the Board was the responses were accepted as provided in the staff report.

Staff recommendation was that the Board order a public hearing for the draft Plan comment responses at that July 22, 2024, Board Meeting. The Board discussed, with input from District's Attorney Ms. Ulrich, that the statutory requirements regarding publishing could not be met for a public hearing to take place July 22, 2024. Various public hearing dates and the impact on the 2025 grant applications were discussed. The consensus of the Board was to hold a public hearing on July 29, 2024.

Board Member Lind moved to accept the Comprehensive Watershed Management Plan comments. Seconded by Board Member McCullough. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

INFORMATIONAL ITEMS

15. Union-Herald/ The Life Article on WE Grant 24-01 -Math + Science = Plants + Partnerships Spring Lake Park

Mr. Kelly stated that this article was written regarding the Water Education Grant that was approved and awarded to the Westwood Elementary School by the Coon Creek Watershed District Board.

16. PROJ 24-613 Creek Signage update

Mr. Kelly gave an update on the creek signage project for Coon Creek. He explained that the signs are being installed. However, Anoka County Highway Department staff recently informed CCWD staff that one new creek sign had been stolen but will be replaced. If it is stolen a second time, the plan is not to replace.

14. Performance Review of Administrator

Board Member McCullough moved to have the Board convene into a closed session to evaluate the performance of the District Administrator, Timothy Kelly. Seconded by Manager Lind. The Administrator affirmed that he is not requesting that the review be conducted in an open session. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

Closed session.

Board Member Hafner moved to reconvene in an open session. Seconded by Manager McCullough. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

The Board reconvened in an open session.

The board discussed ongoing IT issues regarding a transition involving Metro-INET and Office 365. Multiple Board Members are unable to access their District emails.

ADJOURN

Board Member McCullough moved to adjourn. Seconded by Board Member Campbell. The motion carried with 4 yeas (Board Members Campbell, Hafner, Lind, and McCullough) and no nays.

President

COON CREEK WATERSHED DISTRICT

Request for Board Action

MEETING DATE: July 22, 2024
AGENDA NUMBER: 6
ITEM: Bills to Be Paid

FISCAL IMPACT: Budgeted
POLICY IMPACT: Policy

REQUEST

Approve bills

BACKGROUND

Claims totaling \$280,944.18 on the following disbursement list will be issued and released upon Board approval.

Vendor	Amount
V0010--A1 FLOOR AND CARPET CARE INC	1,076.25
V0015--ANOKA COUNTY MN	154,431.72
V0015--ANOKA COUNTY MN	4,095.00
V0052--LOFFLER COMPANIES INC	120.42
V0054--MICHELLE J ULRICH PA	2,465.75
V0068--PLM LAKE AND LAND MGT CORP	1,375.00
V0096--RANDY WESP EXCAVATING LLC	2,900.00
V0110--RESPEC COMPANY LLC	2,456.25
V0111--WELL GROOMED LAWNS INC	753.00
V0128--YTS COMPANIES LLC	3,193.75
V0138--RMB ENVIRONMENTAL LABORATORIES INC	207.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	1,125.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	216.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	165.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	72.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	108.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	144.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	72.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	957.00
V0138--RMB ENVIRONMENTAL LABORATORIES INC	207.00
V0195--STANTEC CONSULTING SERVICES INC	2,940.00
V0195--STANTEC CONSULTING SERVICES INC	23,286.85
V0195--STANTEC CONSULTING SERVICES INC	113.50
V0195--STANTEC CONSULTING SERVICES INC	27,618.18
V0195--STANTEC CONSULTING SERVICES INC	16,241.00
V0221--ABDO LLP	3,327.50
V0242--METRO I NET	5,398.00
V0247--POOP 911 OF MPLS STP LLC	731.40
V0305--DEEP SEA PROPERTIES LLC	729.18
V0306--JPM JAVA LLC	4,238.28
V0307--SCANNELL PROPERTIES LLC	5,863.75
V0308--THOMPSON-NAUMAN, AMY	2,085.00
V0309--YOAKUM, KIMBERLY OR ANDREW	3,421.10
V0310--DOUGLAS-KERR UNDERGROUND LLC	6,550.00
V0311--WESTWOOD INT & MIDDLE SCHOOL	1,157.62
V0312--POSTMASTER	1,102.68
Grand total	280,944.18

Item 6: Bills to be Paid Page 2 of 2

Company name: Created on:	Coon Creek Watershed District 7/17/2024									
0724CCWD	Vendor name	Bill number	Date	Fund name	Department name	Account	Capital Project ID	Grant ID	Transaction amount	Memo
	A1 FLOOR AND CARPET CARE INC.	0724CCWD	7/9/2024	General Fund	Administration	61105			1,076.25	JULY2024 CLEANING SERVICE
Sumfor 0724CCWD 1046-166981									1,076.25	
	POOP #11 OF MFLS STPLLC POOP #11 OF MFLS STPLLC	1046-166981 1046-166981	7/1/2024 7/1/2024	General Fund General Fund	Administration Public & Governmental Affairs	61549 61549	PROJ23-602 PROJ23-602	G22-001 G22-001-M	540.60 190.80	4 WEEKS CLEANUP SERVICE JUNE 24 4 WEEKS CLEANUP SERVICE JUNE 24
Sumfor 1046-166981									731.40	
	2054 METRO INET	2054	7/1/2024	General Fund	Administration	63066			5,398.00	MTHLYT SERVICES JULY24
Sumfor 2054									5,398.00	
	2251162 STANTEC CONSULTING SERVICES INC	2251162	6/26/2024	General Fund	Watershed Development	63246			2,940.00	PROJ27706624 WCA#6/24
Sumfor 2251162									2,940.00	
	2251907 STANTEC CONSULTING SERVICES INC	2251907	6/28/2024	General Fund	Watershed Development	63246			27,618.18	PROJ27706623 PERMIT PROG#6/24
Sumfor 2251907									27,618.18	
	2251909 STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC	2251909 2251909 2251909 2251909 2251909 2251909 2251909	6/27/2024 6/27/2024 6/27/2024 6/27/2024 6/27/2024 6/27/2024 6/27/2024	General Fund General Fund General Fund General Fund General Fund General Fund General Fund	Planning Planning Planning Planning Planning Administration Planning	63246 63246 63246 63246 63246 63246 63246	PROJ23-302 PROJ23-302 PROJ24-310 PROJ24-311 PROJ24-302 PROJ24-302	 G22-003 G22-003	618.75 632.46 2,175.60 1,341.00 12,422.00 5,026.75 840.00	PROJ27706627 POW/FLOOD#6/24 PROJ27706627 POE/FLOOD#6/24 PROJ27706627 MODEL IMP/MNT#6/24 PROJ27706627 ACPH#12#6/24 PROJ27706627 CD37 SWA#6/24 PROJ27706627 GENL ENGR PLAN#6/24 PROJ27706627 CD39 SWA#6/24
Sumfor 2251909									23,286.65	
	2251910 STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC	2251910 2251910	6/28/2024 6/28/2024	General Fund General Fund	Water Quality Water Quality	63246 63246	PROJ24-523 PROJ24-516	 G23-001-M	447.00 15,794.00	PROJ27706629 SBOR OUTLET MOD#6/24 PROJ27706629 CRD LCCC#6/24
Sumfor 2251910									16,241.00	
	2251968 STANTEC CONSULTING SERVICES INC STANTEC CONSULTING SERVICES INC	2251968 2251968	6/27/2024 6/27/2024	General Fund General Fund	Administration Administration	63246 63246			74.50 39.00	PROJ27706630 GENL ENGR OM#6/24 PROJ27706630 GENL ENGR OM#6/24
Sumfor 2251968									113.50	
	226 RANDY WESP EXCAVATING LLC	226	7/8/2024	General Fund	Operations & Maintenance	61549	PROJ24-421		2,900.00	24 NON ROUTINE PC POND OUTLET
Sumfor 226									2,900.00	
	25549 WELL GROOMED LAWNS INC	25549	6/27/2024	General Fund	Administration	61250			753.00	CCWD MOW JUNE 2024
Sumfor 25549									753.00	
	34398 YTS COMPANIES LLC	34398	6/28/2024	General Fund	Operations & Maintenance	61549	PROJ24-421		3,193.75	24 NON ROUTINE D17 D60 D57 FORESTRY
Sumfor 34398									3,193.75	
	4737962 LOFFLER COMPANIES INC	4737962	7/1/2024	General Fund	Administration	62124			120.42	ACCT CC16 CCWD JUNE 24
Sumfor 4737962									120.42	
	493403 ASDO LLP	493403	6/30/2024	General Fund	Administration	63052			3,327.50	ACCT 190223 RS FMTHLY SVC JUNE 24
Sumfor 493403									3,327.50	
B013166	RMB ENVIRONMENTAL LABORATORIES INC	B013166	6/26/2024	General Fund	Water Quality	61549	PROJ24-515b		207.00	WOB013166 MONITORING
Sumfor B013166									207.00	
B013344	RMB ENVIRONMENTAL LABORATORIES INC	B013344	6/30/2024	General Fund	Water Quality	61549	PROJ24-515b		1,125.00	WOB013344 MONITORING
Sumfor B013344									1,125.00	
B013368	RMB ENVIRONMENTAL LABORATORIES INC	B013368	7/8/2024	General Fund	Water Quality	61549	PROJ24-515b		165.00	WOB013368 MONITORING
Sumfor B013368									165.00	
B013369	RMB ENVIRONMENTAL LABORATORIES INC	B013369	7/8/2024	General Fund	Water Quality	61549	PROJ24-515b		72.00	WOB013369 MONITORING
Sumfor B013369									72.00	
B013370	RMB ENVIRONMENTAL LABORATORIES INC	B013370	7/8/2024	General Fund	Water Quality	61549	PROJ24-515b		108.00	WOB013370 MONITORING
Sumfor B013370									108.00	
B013371	RMB ENVIRONMENTAL LABORATORIES INC	B013371	7/8/2024	General Fund	Water Quality	61549	PROJ24-515b		144.00	WOB013371
Sumfor B013371									144.00	
B013372	RMB ENVIRONMENTAL LABORATORIES INC	B013372	6/30/2024	General Fund	Water Quality	61549	PROJ24-515b		216.00	WOB013372 MONITORING
Sumfor B013372									216.00	
B013406	RMB ENVIRONMENTAL LABORATORIES INC	B013406	7/11/2024	General Fund	Water Quality	61549	PROJ24-515b		957.00	WOB013406 MONITORING
Sumfor B013406									957.00	
B013407	RMB ENVIRONMENTAL LABORATORIES INC	B013407	7/8/2024	General Fund	Water Quality	61549	PROJ24-515b		72.00	WOB013407 MONITORING
Sumfor B013407									72.00	
B013464	RMB ENVIRONMENTAL LABORATORIES INC	B013464	7/15/2024	General Fund	Water Quality	61549	PROJ24-515b		207.00	WOB013464 MONITORING
Sumfor B013464									207.00	
CCWD POSTAGE	POSTMASTER	CCWD POSTAGE	7/12/2024	General Fund	Public & Governmental Affairs	61549	PROJ24-612	G22-001-M	1,102.68	SAND CRK SURVEY POSTAGE
Sumfor CCWD POSTAGE CCWD-0624									1,102.68	
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60715			38.48	LIFE SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	63052			1,900.00	ACTUARIAL SERVICES SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60717			8,639.94	PERSALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60720			663.52	DENTAL SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60721			148.84	LTD SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	63052			416.67	SERVICE FEE SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60714			15,058.00	HEALTH SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60713			804.11	HRA SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60260			5,531.25	TEMP WAGES SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60110			112,517.76	WAGES SALARY BENEFITS EXP-JUNE 2024
	ANKA COUNTY MN	CCWD-0624	7/10/2024	General Fund	Administration	60716			8,713.15	ICA SALARY BENEFITS EXP-JUNE 2024
Sumfor CCWD-0624 INV-0624-203									154,431.72	
	RESPEC COMPANY LLC	INV-0624-203	6/30/2024	General Fund	Administration	63010			2,456.25	PROJ02734-QS SERVICES JUNE 24
Sumfor INV-0624-203 Jun-24									2,456.25	
	MICHELLE JULICH CPA	JUNE 2024	7/1/2024	General Fund	Administration	63453			2,465.75	LEGAL-JUNE 2024
Sumfor JUNE 2024 PAN 16-019									2,465.75	
	YOKUM, KIMBERLY ANDREW	PAN 16-019	7/22/2024	General Fund	Watershed Development	63191			1,311.10	P16-019 REVIEW REF-13650 YANCYSTINE
Sumfor PAN 16-019 PAN 18-043									2,110.00	P16-019 ESCROW REF-13650 YANCYSTINE
	ANKA COUNTY MN	PAN 18-043	7/22/2024	Escrow Fund	Administration	24210			4,095.00	P18-043 ESCROW REF-BUNKER BEACH PKG LOT
Sumfor PAN 18-043 PAN 22-040									4,095.00	
	SCANNELL PROPERTIES LLC	PAN 22-040	7/22/2024	Escrow Fund	Administration	24210			5,863.75	P22-040 ESCROW REF-CR NORTH CENTRAL COMM CENTER
Sumfor PAN 22-040 PAN 22-047									5,863.75	
	DOUGLAS KERR UNDERGROUND LLC	PAN 22-047	7/22/2024	Escrow Fund	Administration	24210			6,550.00	P22-047 ESCROW REF-CREBK VALLY RECON
Sumfor PAN 22-047 PAN 22-059									6,550.00	
	DEEPSEAP PROPERTIES LLC	PAN 22-059	7/22/2024	Escrow Fund	Administration	24210			729.18	P22-059 ESCROW REF-BOBBY'S CAR WASH
Sumfor PAN 22-059 PAN 22-092									729.18	
	JFM JV ALLC	PAN 22-092	7/22/2024	Escrow Fund	Administration	24210			2,250.00	P22-092 ESCROW REF-SCOOTERS COFFEE
Sumfor PAN 22-092 PAN 23-055									1,988.28	P22-092 REVIEW REF-SCOOTERS COFFEE
	THOMPSON-NAUMAN, AMY	PAN 23-055	7/22/2024	Escrow Fund	Administration	24210			2,050.00	P23-055 ESCROW REF-NO LOSS WETLAND EXCAVATION
Sumfor PAN 23-055 S16460									35.00	P23-055 ESCROW REF-NO LOSS WETLAND EXCAVATION
	PL LAKE AND LAND MGT CORP	S16460	6/25/2024	General Fund	Water Quality	61549	PROJ24-514		1,375.00	WQ LAKE/PLAN IMPL CRK DUKS W/IMPLING
Sumfor S16460 WE GRANT 24-01									1,375.00	
	WESTWOOD INT & MIDDLE SCHOOL	WE GRANT 24-01	7/11/2024	General Fund	Public & Governmental Affairs	61549	PROJ24-614		1,157.62	WE GRANT 24-01 WESTWOOD INS
Sumfor WE GRANT 24-01 Sum Total									1,157.62	
									280,044.18	

COON CREEK WATERSHED DISTRICT
Request for Board Action

MEETING DATE: July 22, 2024
AGENDA NUMBER: 7
ITEM: Summary of Closed Session

AGENDA: Policy

ACTION REQUESTED

Receive a summary of July 8 closed session, review proposed employment agreement.

BACKGROUND

At the July 8, 2024, meeting the Board of Managers pursuant to Minn. Stat. § 13.05 (3)(a) with the consent of the Administrator went into closed session to consider a report from the committee that reviewed the performance of the District Administrator. As provided under Minn. Stat. § 13.05 (3)(a) the Board is required to summarize its conclusions regarding the evaluation.

In connection with the performance evaluation the committee has recommended that a proposed updated Administrator employment agreement as reviewed by the Administrator with a 60 days' notice provision be reviewed by the Board.

RECOMMENDATION(s)

1. Receive summary of July 8 closed session evaluation conclusions.
2. Review as proposed updated Administrator employment agreement

Permit Application Review Report
Date: 7/17/2024

Board Meeting Date: 7/22/2024
Agenda Item: 08

Applicant/Landowner:

Universal Services, Inc
Attn: Jonathon Bathen
587 Settlers Ridge Parkway
Woodbury, MN 55129

Project Name: Universal Services - Fridley

Project PAN: P-24-027

Project Purpose: Construction of a building addition, utilities, and associated stormwater treatment features

Project Location: 30 81st Avenue NE, Fridley

Site Size: size of parcel - 7.79 acres; size of disturbed area - 1.64 acres; size of regulated impervious surface - 0.83

Applicable District Rule(s): Rule 2, Rule 3, Rule 4

Recommendation: Approve with 3 Conditions and 3 Stipulations

Description: The project proposed the construction of a new building and expansion of an infiltration basin. The project will disturb 1.64 acres and create 0.83 acres of regulated impervious. The site drains towards Stoneybrook Creek. The relevant water resource concerns are stormwater treatment and erosion and sediment control. This corresponds to District Rules 3 and 4. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$2,820.00.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Rule 4.0 – Soils and Erosion Control

3. Update the erosion and sediment control plan to include the following:
 - a. Update construction sheet C301 to show rock construction entrance as indicated in SWPPP.

b. Show inlet protection on sheet C301 as needed.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
2. Completion of a post construction infiltration test on the Infiltration Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
Geotechnical Report	Braun Intertec	04/26/2024	06/25/2024
Stormwater Management Plan	Kimley-Horn	06/25/2024	06/25/2024
Construction Plans	Kimley-Horn	06/25/2024	06/25/2024

Findings

Fees and Escrows (Rule 2.7):

The applicant has submitted a \$3,310.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Commercial/Industrial Development project of 1.64 acres (\$3,300.00). The applicant will be required to submit a performance escrow in the amount of \$2,820.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (1.64 acres of land disturbance proposed).

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG A.

Rate Control: Peak stormwater flow rate at each point of site discharge does not increase from the pre-development condition for the 24-hour precipitation event with a return frequency of 2-, 10-, 100- years as shown in Table 1. The project will not impact Drainage Sensitive Use areas. The rate control standard is met.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
Basin 3S	11.05	8.07	11.76	11.55	13.31	12.59

Table 1.

Volume Control: The proposed project is new development; therefore, the volume reduction requirement is equal to 1.1 inches over the area of all impervious surface. The amount of proposed impervious required to be treated is 36,000 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
3S	36,000	infiltration basin	1	3,300	3,723
Totals:	36,000			3,300	3,723

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
STMH #1	catch basin /sump	82

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3. The volume control standard has been met as shown in Table 2.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
3S	100

Table 4.

The TSS removal standard is met at each discharge point as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is not being discharged into any wetlands, therefore this section does not apply.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is new development which includes buildings and habitable structures. Therefore, SMPs must be designed such that the lowest basement floor elevations are at least 2 feet above the 100-yr high water level and 1 foot above the emergency overflow. The lowest basement floor elevation proposed is 863 MSL. The applicable 100-year high water level is at 860.7 MSL and the applicable emergency overflow is at 860.8 MSL. The freeboard requirement is met.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Easements: All required maintenance easements have been provided on the plans.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to Stoneybrook Creek. The soils affected by the project include Urban

and do not have a soil erodibility factor of 0.15 or greater. Disturbed areas are proposed to be stabilized within 7 days, as required. The proposed erosion and sediment control plan includes perimeter control, street sweeping, and rock construction entrance. The erosion control plan does not meet District requirements because the erosion control plan does not show the proposed construction entrance or inlet protection as indicated within the SWPPP. See attached Figure 3: Erosion and sediment control plan.

Wetlands (Rule 5.0)

The proposed project does not include activities which result in the filling, draining, excavating, or otherwise altering the hydrology of a wetland. Rule 5.0 does not apply.

Floodplain (Rule 6.0)

The proposed project does not include land disturbing activities within the floodplain as mapped and modeled by the District. Rule 6.0 does not apply.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

The proposed project does not request a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

P24-027



Figure 1: Project Location

13632 Van Buren St NE | Ham Lake, MN 55304 | 763.755.0975 | www.cooncreekwd.org

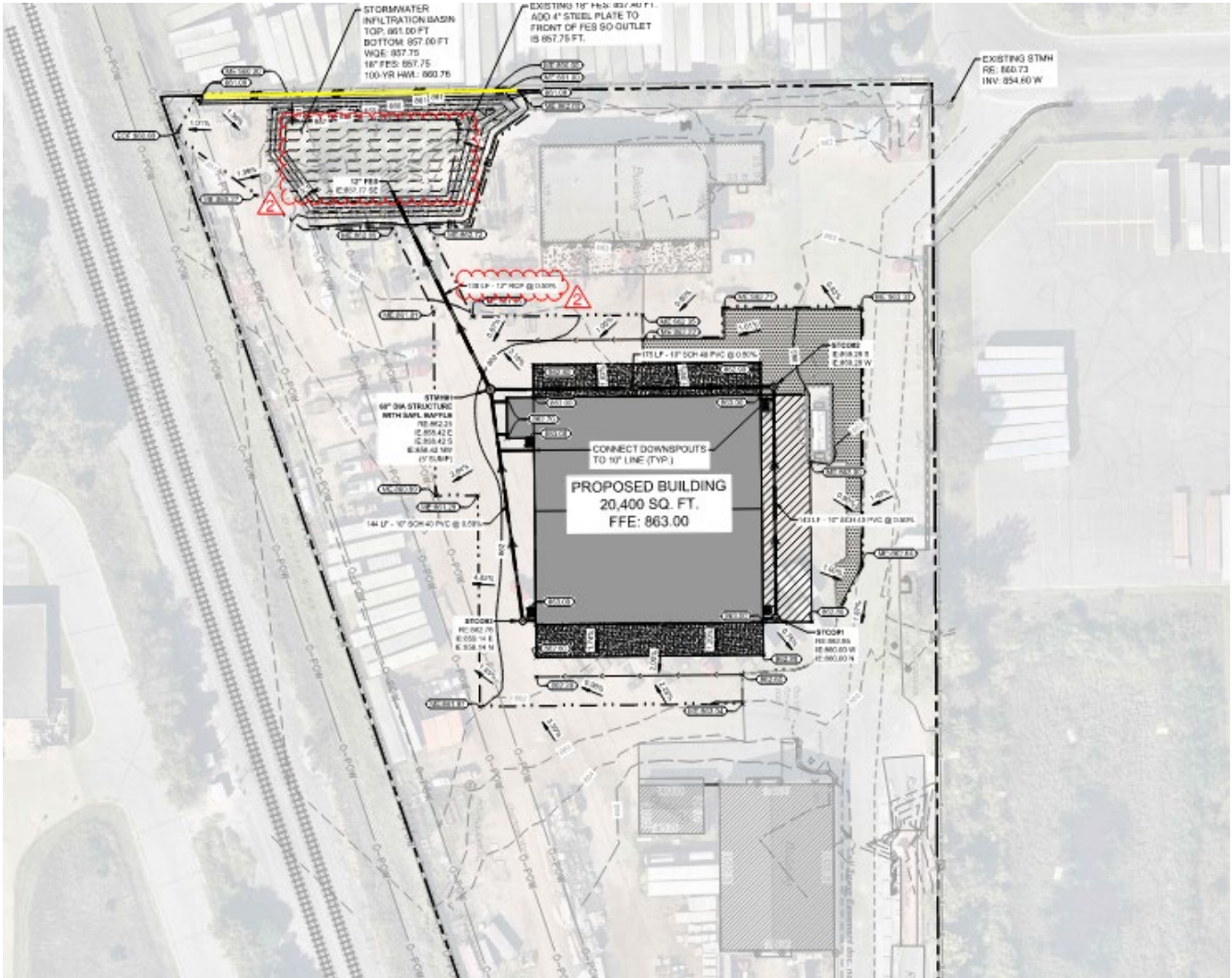
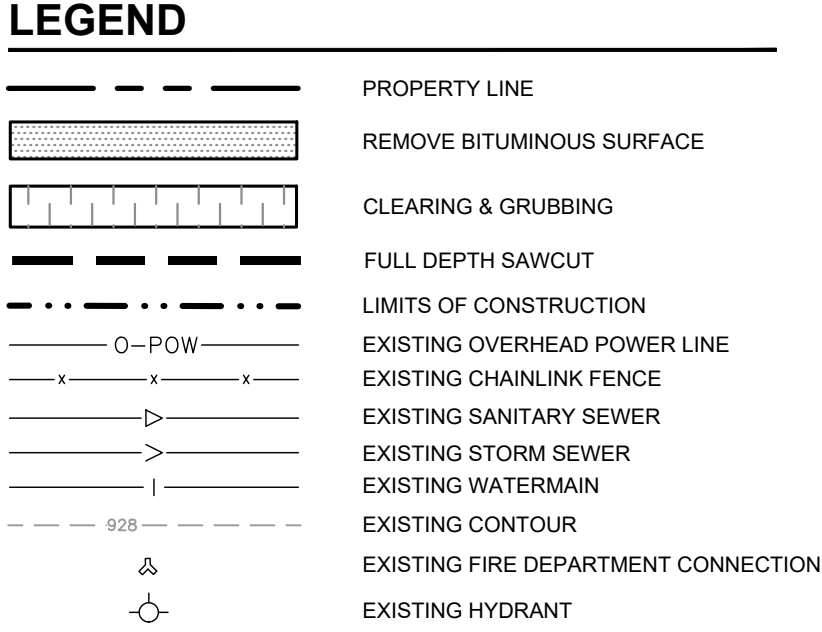
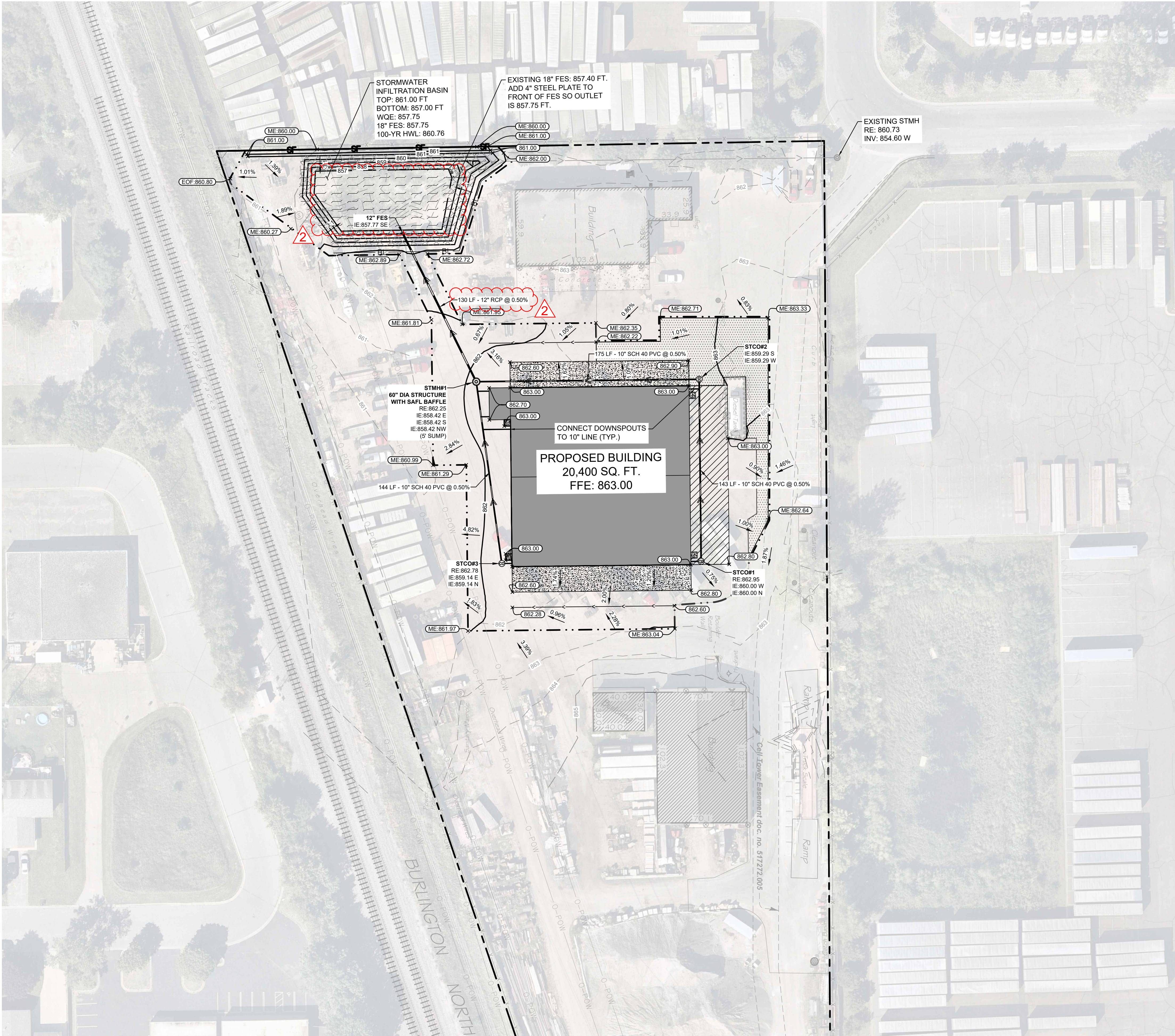


Figure 3: Erosion & sediment control plan



1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARAPETS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL TO THE UTILITIES TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
3. THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTALS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
6. EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEDING WITH THE PROPOSED WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COST ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. AS WELL AS BE SEaled BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
14. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
15. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINAGE IS ENCOUNTERED ON SITE; ACTIVE DRAINAGE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
16. IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

[illegible]



LEGEND

- EROSION CONTROL BLANKET
- SILT FENCE
- LIMITS OF DISTURBANCE
- SWALE
- BIOLOG
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW ELEVATION
- PROPOSED DRAINAGE DIRECTION

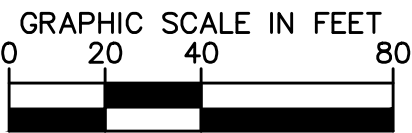
EROSION CONTROL PLAN NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP'S DISTURBED DURING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE, DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
- EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SEQUENCE OF CONSTRUCTION

- INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS. CONSTRUCT CONCRETE WASHOUT.
- CLEAR AND GRUB THE SITE.
- BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).
- CONSTRUCT UNDERGROUND SITE UTILITIES.
- COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PLACE PAVEMENT BASE MATERIAL.
- CONSTRUCT PAVEMENTS.
- AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
- COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
- WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL

NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.



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BUILDING
PREPARED FOR
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FRIDLEY

GRADING AND
EROSION
CONTROL PLAN

MN

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PHONE: 651-845-4197
WWW.KIMLEY-HORN.COM

WATERSHED COMMENTS
06/25/2024
RWC

WATERSHED COMMENTS
05/31/2024
RWC

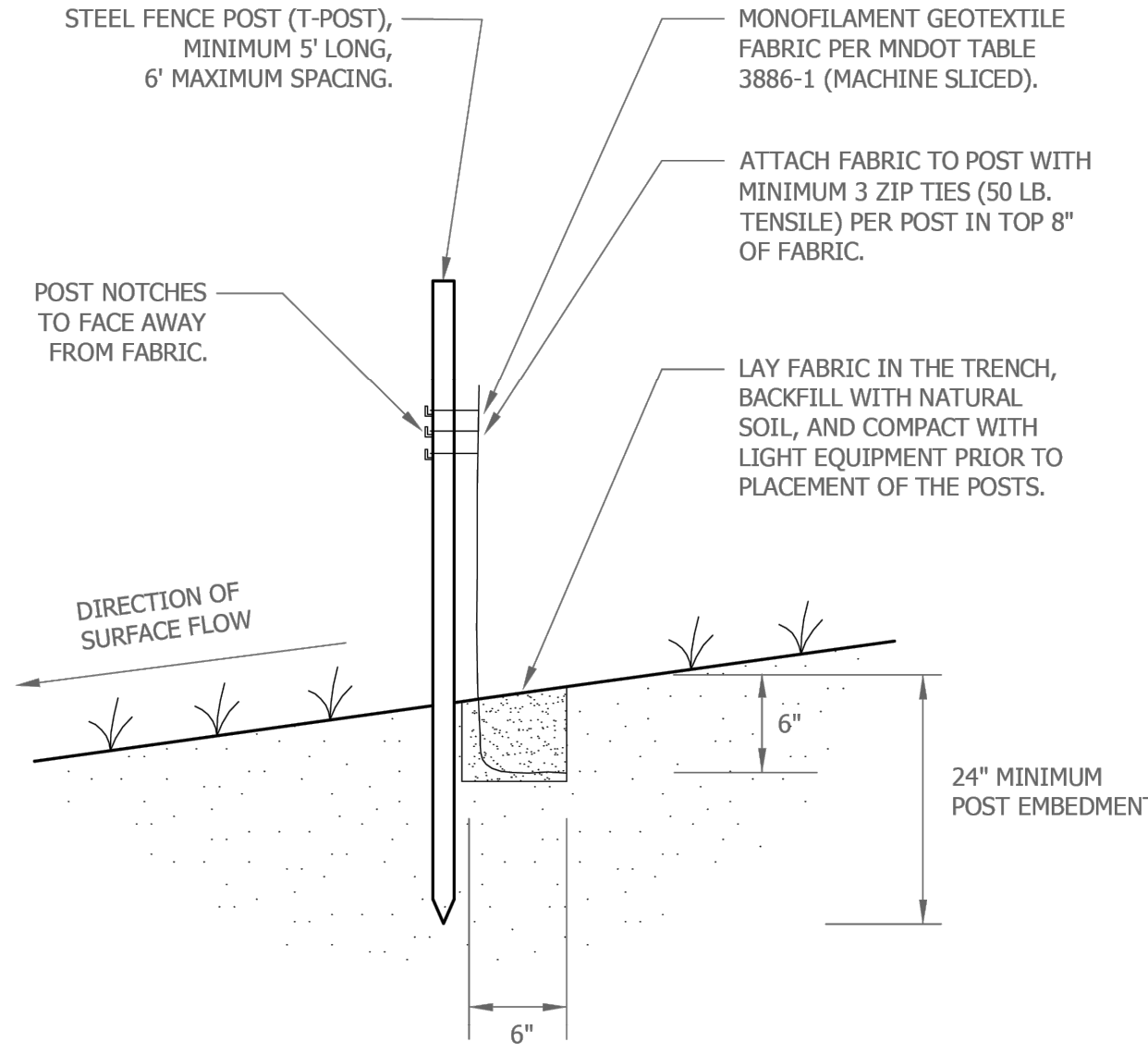
REVISIONS

DATE

BY

k:\TWC_LDEV\Studio EAF\Fridley, MN Universal Services Bldg\3 Design\CAD\PlanSheets\IC3-EROS DETAILS.dwg June 24, 2024 - 11:46am

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



STEEL FENCE POST (T-POST), MINIMUM 5' LONG, 6' MAXIMUM SPACING.

MONOFILAMENT GEOTEXTILE FABRIC PER MNDOT TABLE 3886-1 (MACHINE SLICED).

ATTACH FABRIC TO POST WITH MINIMUM 3 ZIP TIES (50 LB. TENSILE) PER POST IN TOP 8" OF FABRIC.

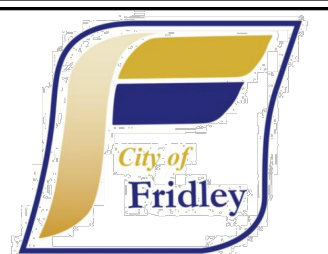
LAY FABRIC IN THE TRENCH, BACKFILL WITH NATURAL SOIL, AND COMPACT WITH LIGHT EQUIPMENT PRIOR TO PLACEMENT OF THE POSTS.

POST NOTCHES TO FACE AWAY FROM FABRIC.

DIRECTION OF SURFACE FLOW

24" MINIMUM POST EMBEDMENT

6"

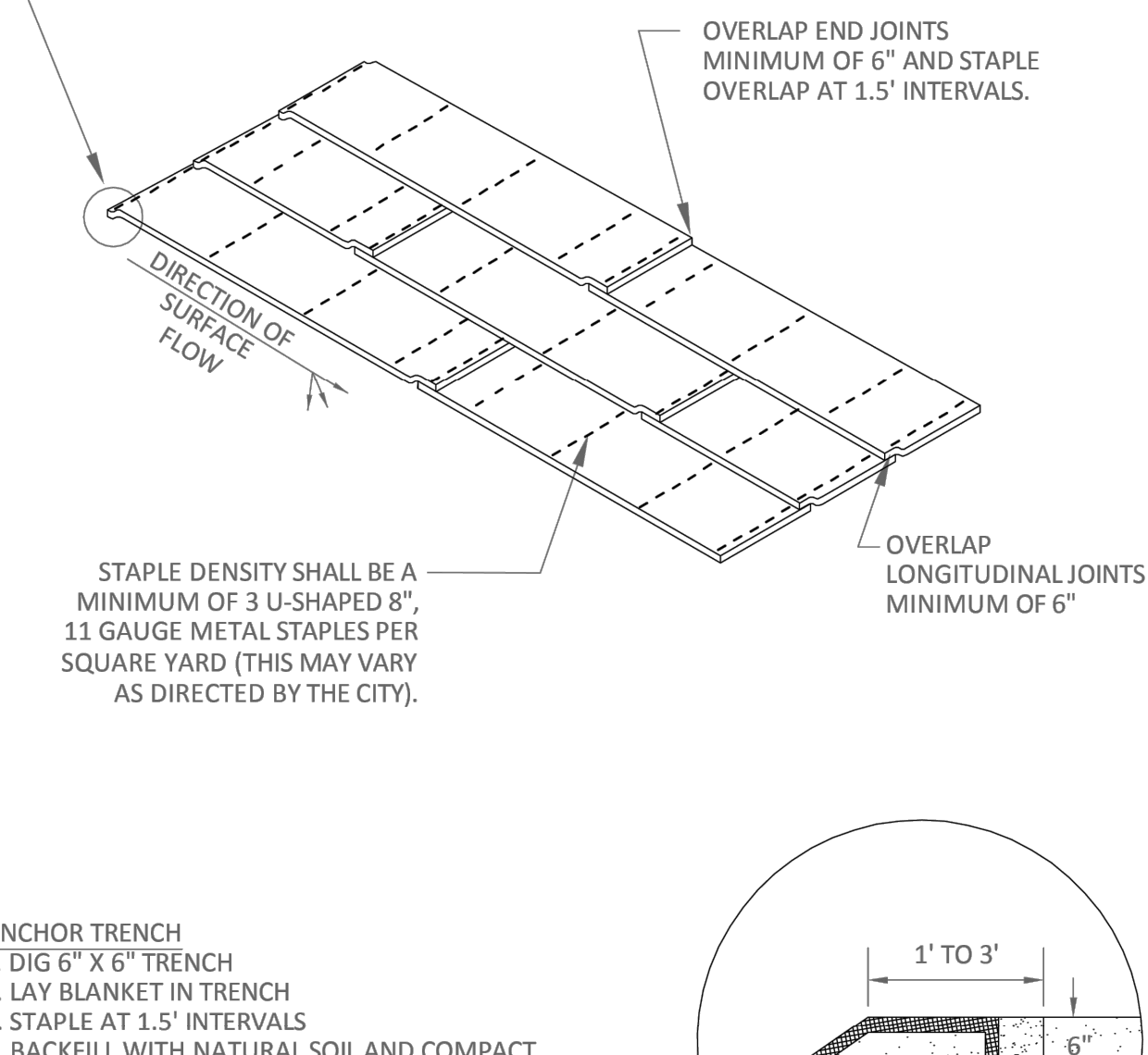


STANDARD DETAILS
SILT FENCE
STANDARD

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-1C



ANCHOR TRENCH (SEE DETAIL AND NOTES BELOW)

DIRECTION OF SURFACE FLOW

OVERLAP END JOINTS MINIMUM OF 6" AND STAPLE OVERLAP AT 1.5' INTERVALS.

OVERLAP LONGITUDINAL JOINTS MINIMUM OF 6"

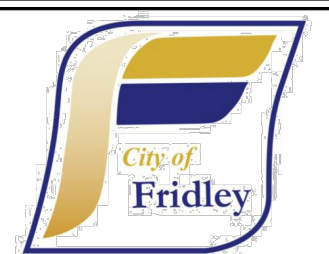
STAPLE DENSITY SHALL BE A MINIMUM OF 3 U-SHAPED 8", 11 GAUGE METAL STAPLES PER SQUARE YARD (THIS MAY VARY AS DIRECTED BY THE CITY).

ANCHOR TRENCH
1. DIG 6" X 6" TRENCH
2. LAY BLANKET IN TRENCH
3. STAPLE AT 1.5' INTERVALS
4. BACKFILL WITH NATURAL SOIL AND COMPACT
5. BLANKET LENGTH SHALL NOT EXCEED 100' WITHOUT AN ANCHOR TRENCH

1' TO 3'

6"

6"

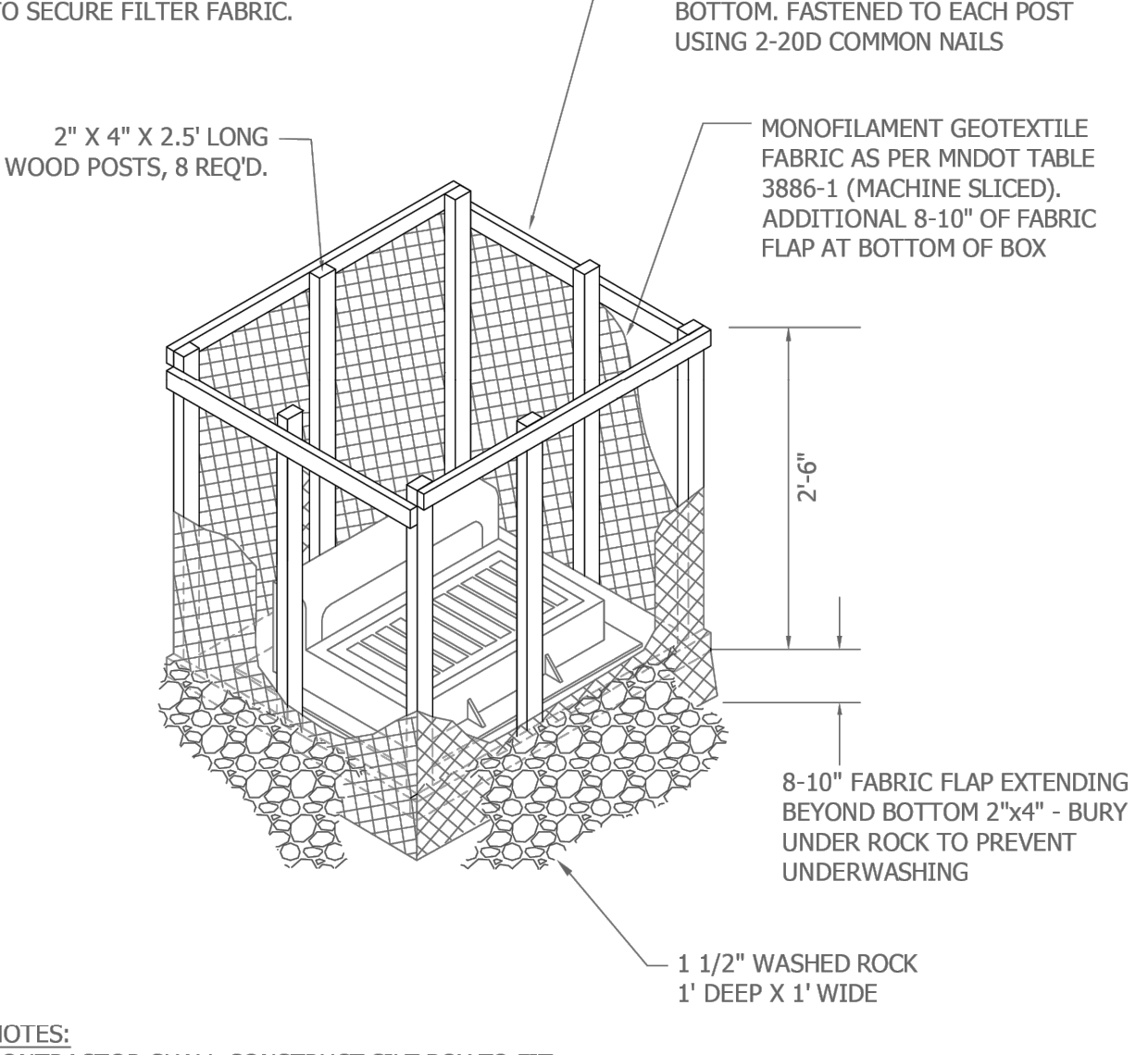


STANDARD DETAILS
EROSION CONTROL BLANKET
INSTALLATION

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-2



WOODEN LATH SHALL BE NAILED SECURELY TO THE POST MEMBER TO SECURE FILTER FABRIC.

2" X 4" X 2.5' LONG WOOD POSTS, 8 REQ'D.

2" X 4" HORIZONTAL MEMBERS CONTINUOUS AROUND TOP AND BOTTOM. FASTENED TO EACH POST USING 2-20D COMMON NAILS

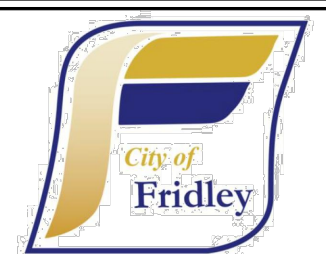
MONOFILAMENT GEOTEXTILE FABRIC AS PER MNDOT TABLE 3886-1 (MACHINE SLICED). ADDITIONAL 8-10" OF FABRIC FLAP AT BOTTOM OF BOX

2'-6"

8-10" FABRIC FLAP EXTENDING BEYOND BOTTOM 2"x4" - BURY UNDER ROCK TO PREVENT UNDERWASHING

1 1/2" WASHED ROCK 1' DEEP X 1' WIDE

NOTES:
CONTRACTOR SHALL CONSTRUCT SILT BOX TO FIT AROUND THE INLET STRUCTURE WITH 6" MINIMUM CLEARANCE TO EDGES OF STRUCTURE. SILT BOX TO BE PLACED ON AN EVEN SURFACE 6" BELOW STRUCTURE OPENING. TOP OF SILT BOX TO EXTEND 18" MINIMUM ABOVE EXISTING GRADE.

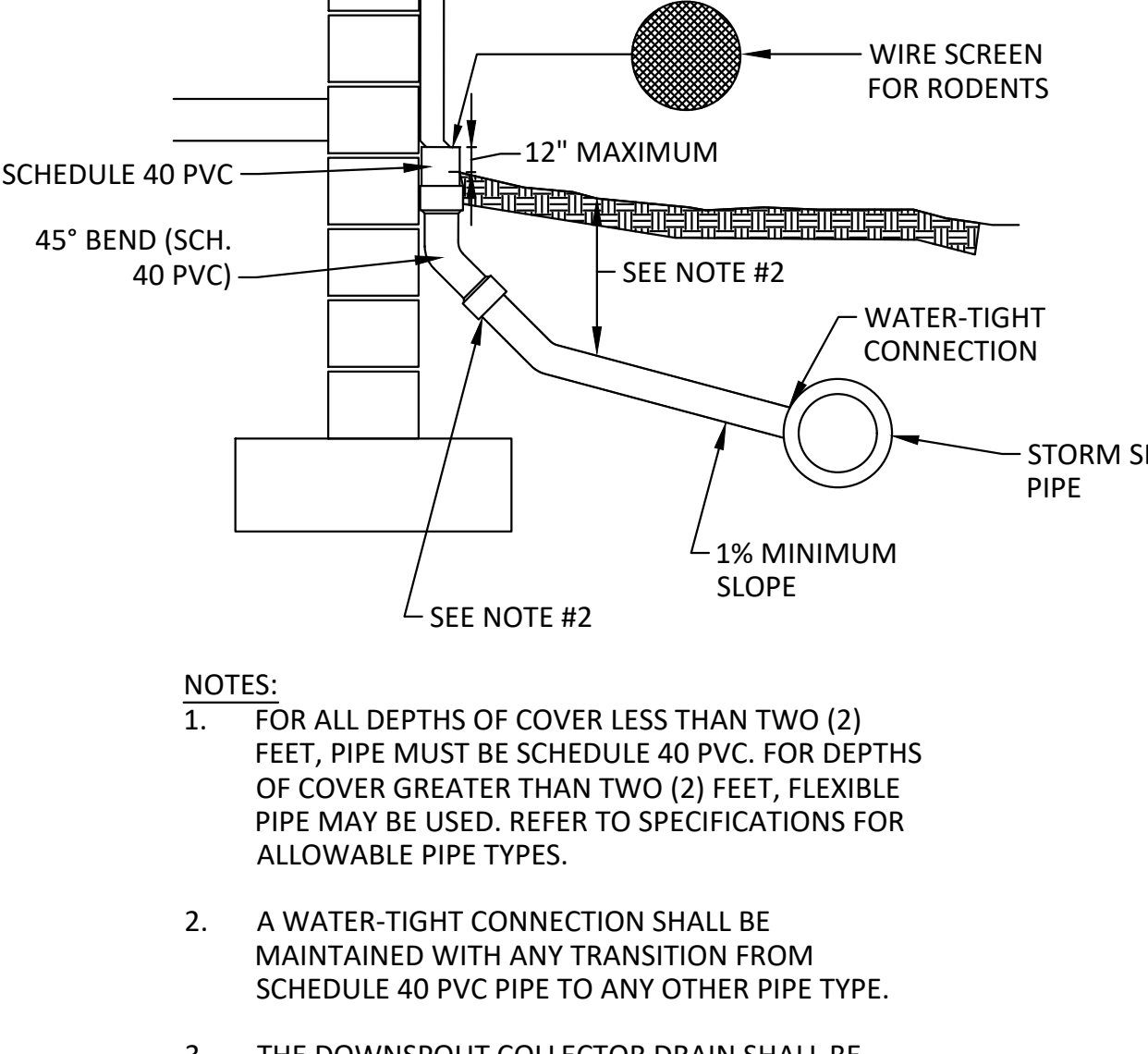


STANDARD DETAILS
INLET PROTECTION SILT BOX
FOR CATCH BASIN BEFORE CONSTRUCTION

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-4A



4" X 6" DOWNSPOUT

12" MAXIMUM

WIRE SCREEN FOR RODENTS

8" SCHEDULE 40 PVC

45° BEND (SCH. 40 PVC)

SEE NOTE #2

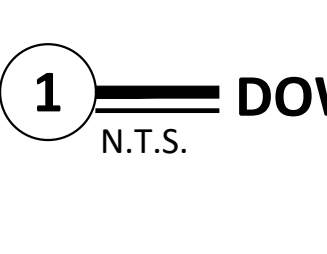
WATER-TIGHT CONNECTION

STORM SEWER PIPE

1% MINIMUM SLOPE

SEE NOTE #2

NOTES:
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
2. A WATER-TIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO, AND INCLUDING, THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.



STANDARD DETAILS
DOWNSPOUT COLLECTOR

FRIDLEY, MINNESOTA

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ERO-4A

d (IN.)	H (IN.)	Θ (DEG.) MIN.	Θ (DEG.) MAX.	y (IN.)	Ys	Yb	Yt	D	NOTES:
12	36	130	230	12					<ul style="list-style-type: none">Ideal Baffle height = distance from top of the highest inlet pipe to the bottom of the outlet pipe plus 18" or greaterMinimum acceptable Baffle Height = distance from top of the highest inlet pipe to the bottom of the outlet pipe plus 12"Heights greater than 57" require 2 Baffles stackedContact Upstream Technologies for pipes larger than 48" I.D.For more information see our design guideView the complete list of Available Baffle Sizes
15	36	130	230	12					
18	36	130	230	12					
21	46	140	220	12					
24	46	140	220	12					
27	46	140	220	12					
30	57	150	210	12					
36	57	150	210	12					

18" or 24"

H

FLOW

C/L

OUTLET

INLET

SAFL BAFFLE PANEL

TOP VIEW OF SUMP

DETAIL A

3/8" DIA. ANCHOR BOLT 2" EMBEDMENT

1" x 1" STEEL TUBE FRAME

NUT W/LOCK WASHER

DETAIL A

CASTING 24" INSIDE DIA.

OUTLET

INLET

SIDE VIEW OF SUMP

24"Ø

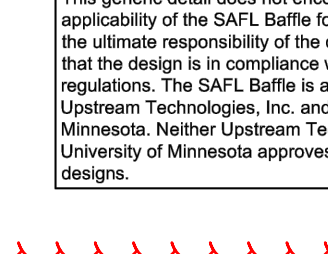
H

Yt

Ys


Yb

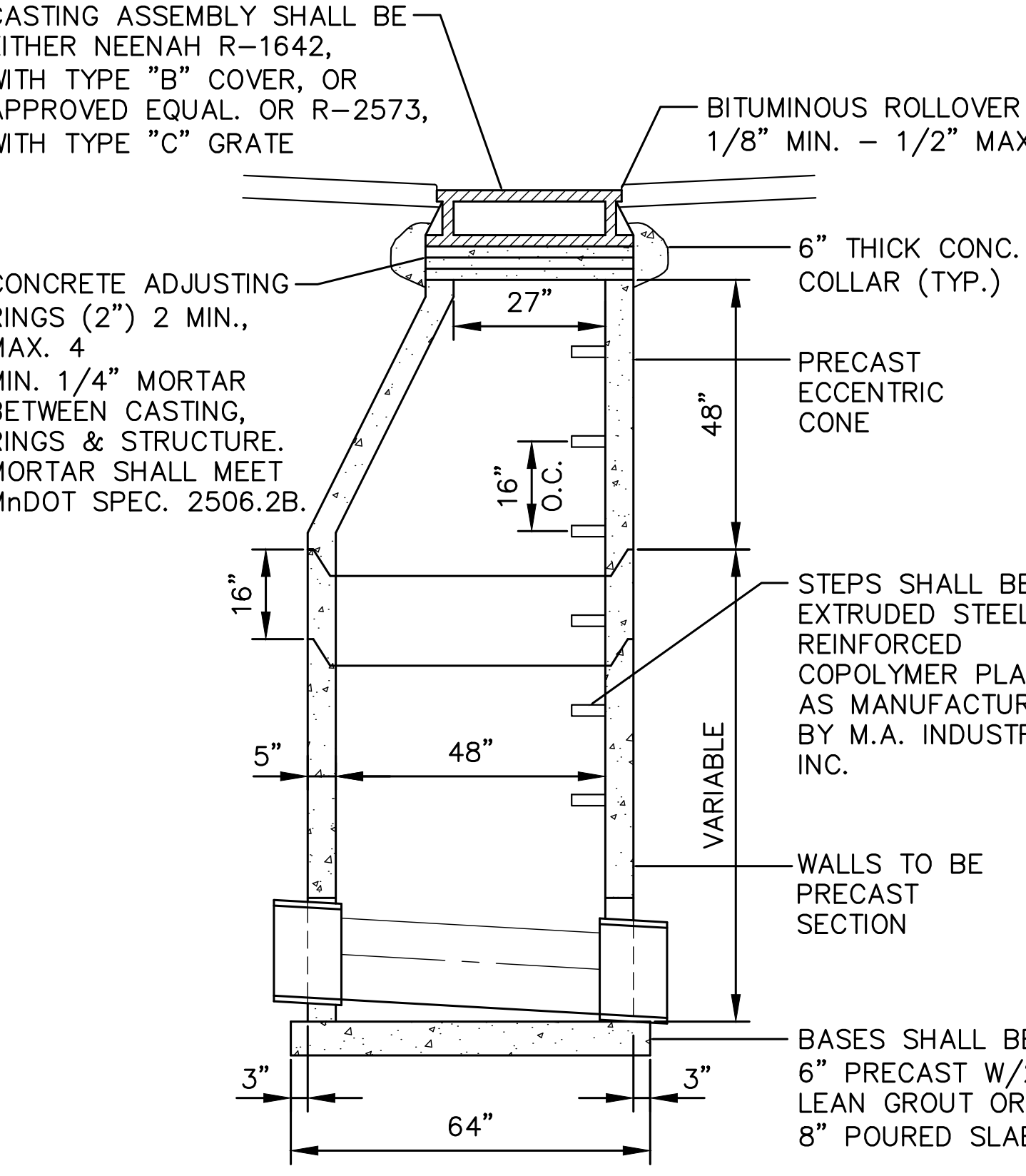
D



PATENT PROTECTED Patents: US #8663466B2 - US #8715507B2 - US #9506237B2 - CA #2742207

SAFL BAFFLE STANDARD DETAIL
UPSTREAM TECHNOLOGIES INC.
600 COUNTY ROAD D WEST, STE 14
NEW BRIGHTON, MN 55112
651.237.5123





CASTING ASSEMBLY SHALL BE EITHER NEENAH R-1642, WITH TYPE "B" COVER, OR APPROVED EQUAL, OR R-2573, WITH TYPE "C" GRATE

BITUMINOUS ROLLOVER 1/8" MIN. - 1/2" MAX.

6" THICK CONC. COLLAR (TYP.)

PRECAST ECCENTRIC CONE

STEPS SHALL BE EXTRUDED STEEL REINFORCED COPOLYMER PLASTIC AS MANUFACTURED BY M.A. INDUSTRIES INC.

WALLS TO BE PRECAST SECTION

BASES SHALL BE 6" PRECAST W/2" LEAN GROUT OR 8" POURED SLAB.

16"

5"

48"

16"

64"


3"

3"

27"

16" O.C.

VARIABLE

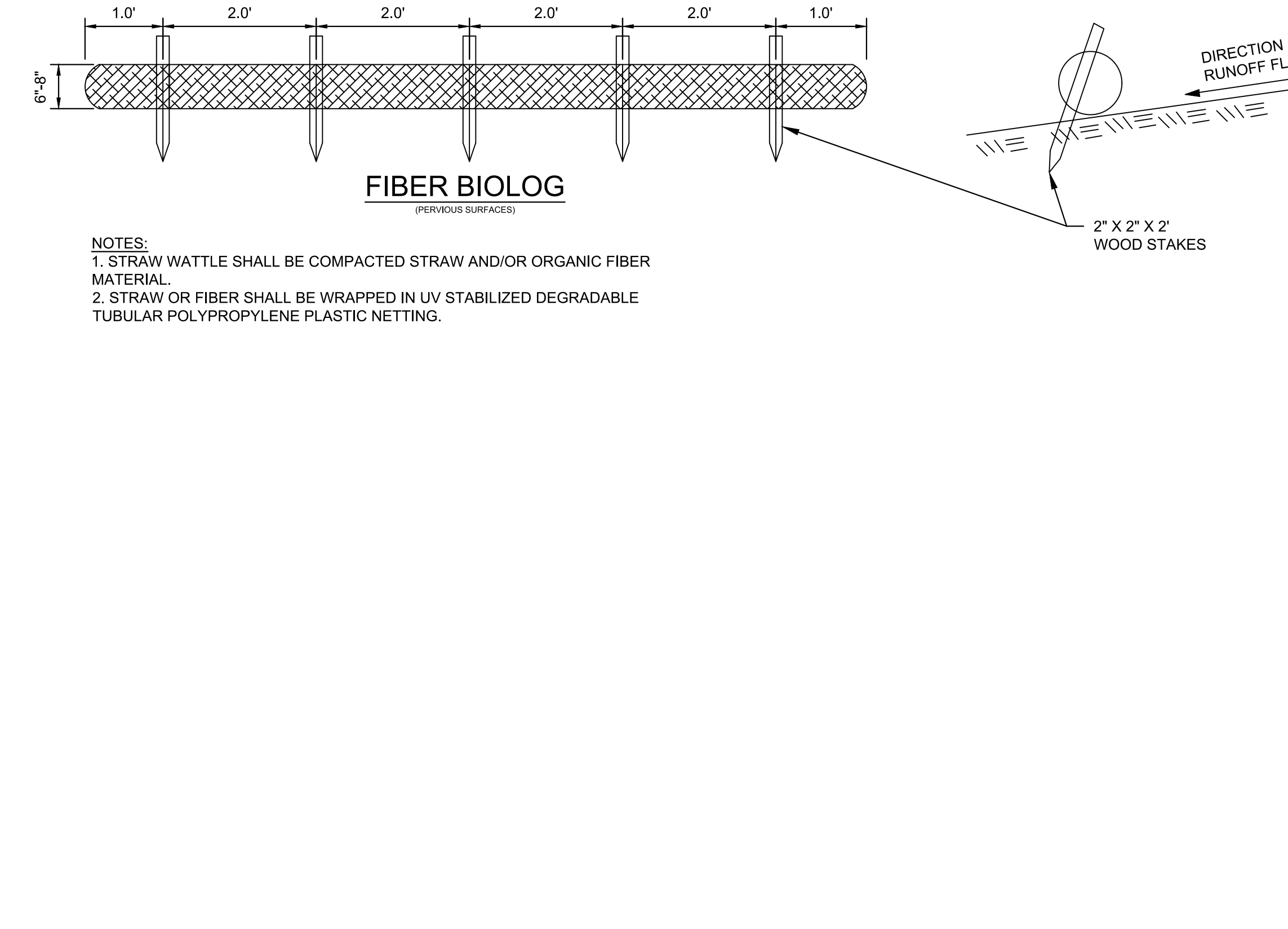


STANDARD DETAILS
STANDARD STORM MANHOLE

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-2



1.0' 2.0' 2.0' 2.0' 2.0' 2.0' 1.0'


6" x 8"

FIBER BIOLOG (PERVIOUS SURFACES)

NOTES:
1. STRAW WATTLE SHALL BE COMPACTED STRAW AND/OR ORGANIC FIBER MATERIAL.
2. STRAW OR FIBER SHALL BE WRAPPED IN UV STABILIZED DEGRADABLE TUBULAR POLYPROPYLENE PLASTIC NETTING.

2" X 2" X 2" WOOD STAKES

DIRECTION OF RUNOFF FLOW




STANDARD DETAILS
FIBER BIOLOG

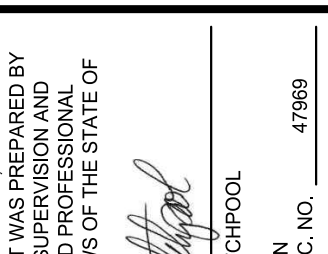
FRIDLEY, MINNESOTA

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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE 651-445-4197
WWW.KIMLEY-HORN.COM

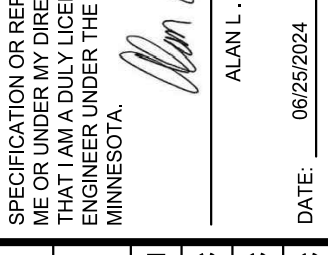


STANDARD DETAILS
FIBER BIOLOG

FRIDLEY, MINNESOTA

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CITY PLATE NO.
ERO-4A

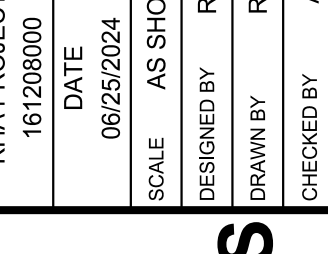


STANDARD DETAILS
DOWNSPOUT COLLECTOR

FRIDLEY, MINNESOTA

LAST REVISION:
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ERO-4A




STANDARD DETAILS
EROSION CONTROL BLANKET INSTALLATION

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-2




STANDARD DETAILS
SILT FENCE STANDARD

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-1C

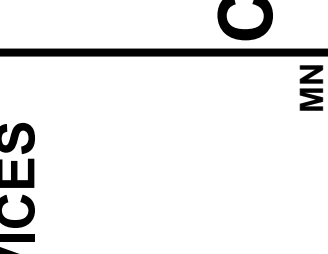


STANDARD DETAILS
INLET PROTECTION SILT BOX FOR CATCH BASIN BEFORE CONSTRUCTION

FRIDLEY, MINNESOTA

LAST REVISION:
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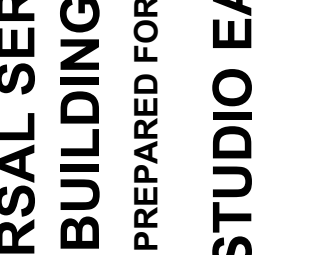


STANDARD DETAILS
STANDARD STORM MANHOLE

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-2




STANDARD DETAILS
SAFL BAFFLE STANDARD DETAIL

FRIDLEY, MINNESOTA

LAST REVISION:
DEC 2018

CITY PLATE NO.
ERO-1C




STANDARD DETAILS
FIBER BIOLOG

FRIDLEY, MINNESOTA

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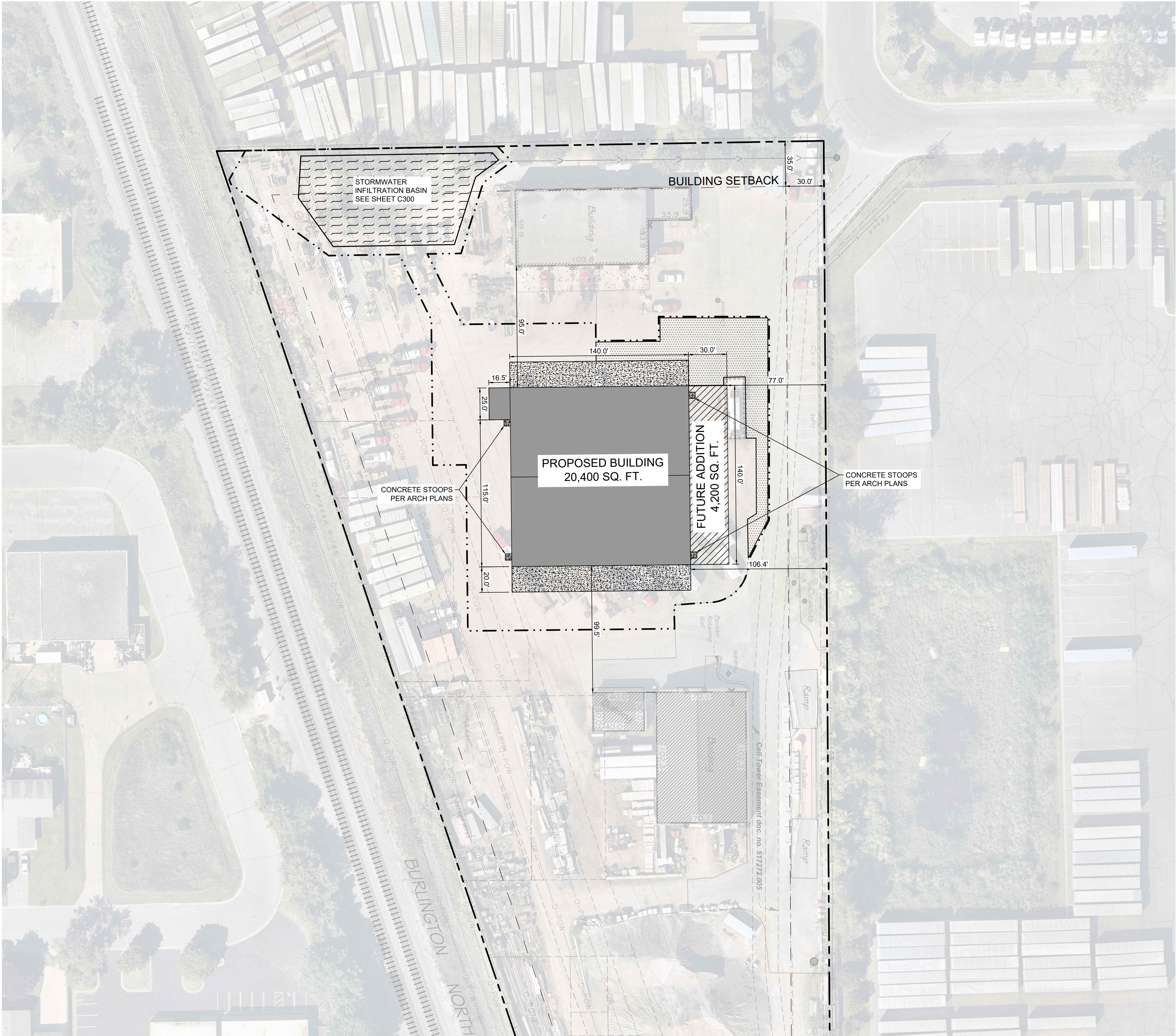


STANDARD DETAILS
DOWNSPOUT COLLECTOR

FRIDLEY, MINNESOTA

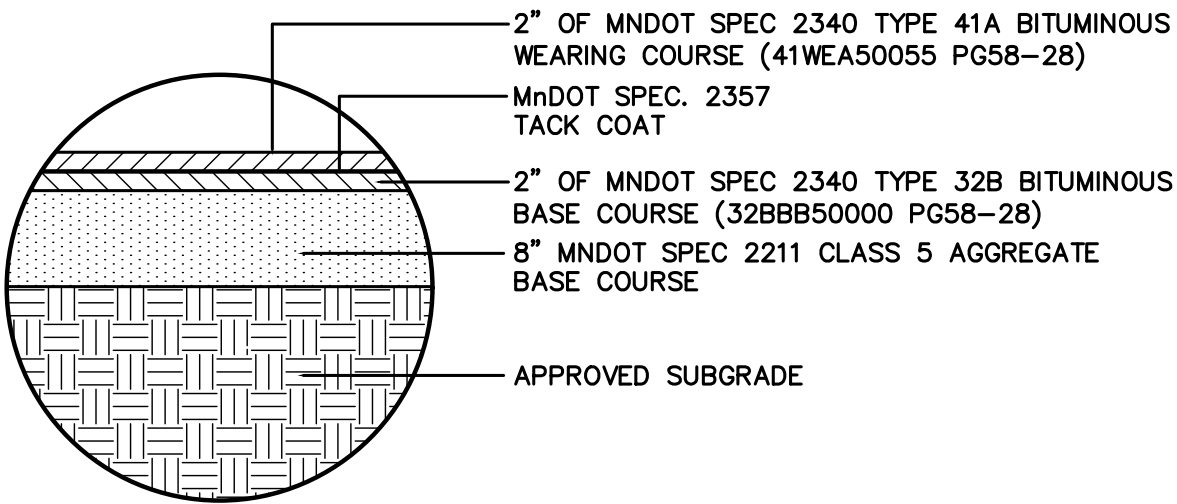
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ERO-4A

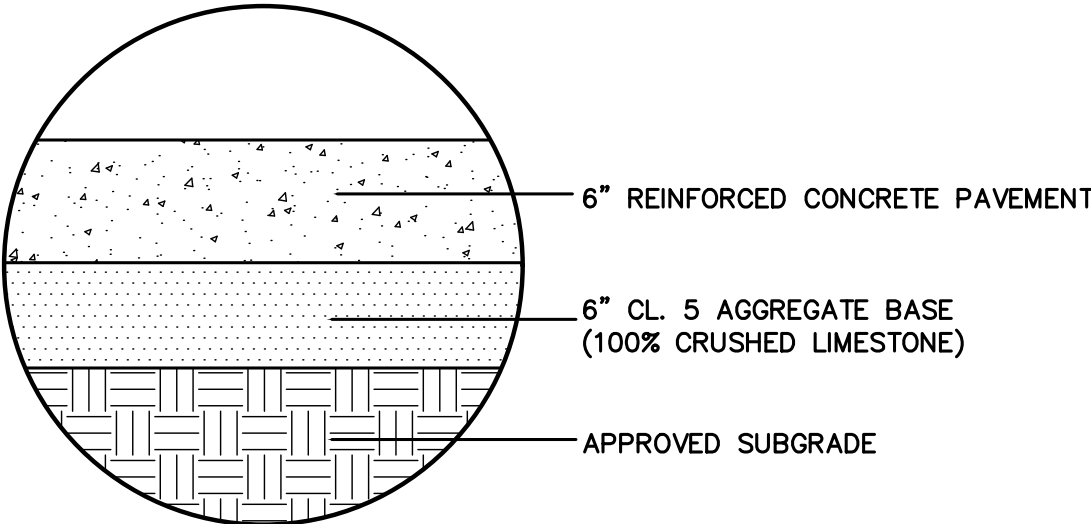


LEGEND	
	PROPERTY LINE
	SETBACK LINE
	DRAINAGE AND UTILITY EASEMENT
	LIMITS OF DISTURBANCE
	HEAVY DUTY ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE DETAILS FOR SECTION
	STORM WATER AREA SEE GRADING PLAN FOR DETAILS

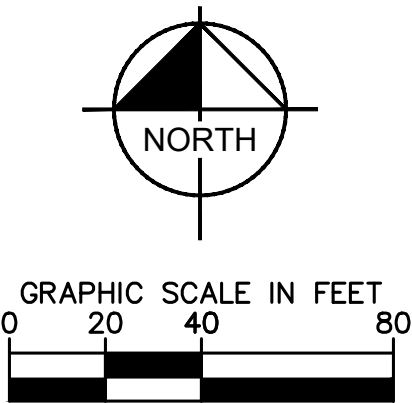
- SITE PLAN NOTES**
- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
 - REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
 - DIMENSIONS AND RADI ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.



HEAVY DUTY BITUMINOUS

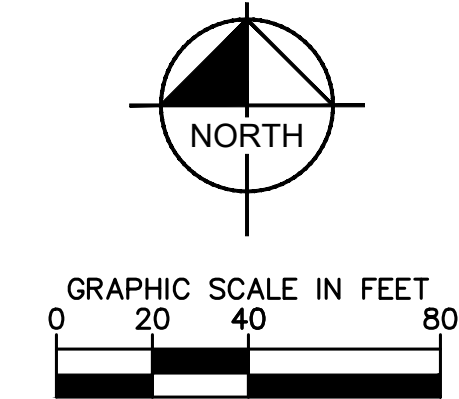


HEAVY DUTY CONCRETE



Know what's below.
Call before you dig.

UNIVERSAL SERVICES BUILDING PREPARED FOR STUDIO EA	SHEET NUMBER C400	FRIDLEY MN		
		KHA PROJECT 161208000		
		DATE 06/25/2024		
		SCALE AS SHOWN DESIGNED BY RWC DRAWN BY RWC CHECKED BY ALC		
SITE PLAN AND DETAILS		KIMLEY-HORN © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE 651-845-4197 WWW.KIMLEY-HORN.COM		
		WATERSHED COMMENTS 06/25/2024 RWC		
		WATERSHED COMMENTS 05/31/2024 RWC		
		REVISIONS		
		No.	DATE BY	

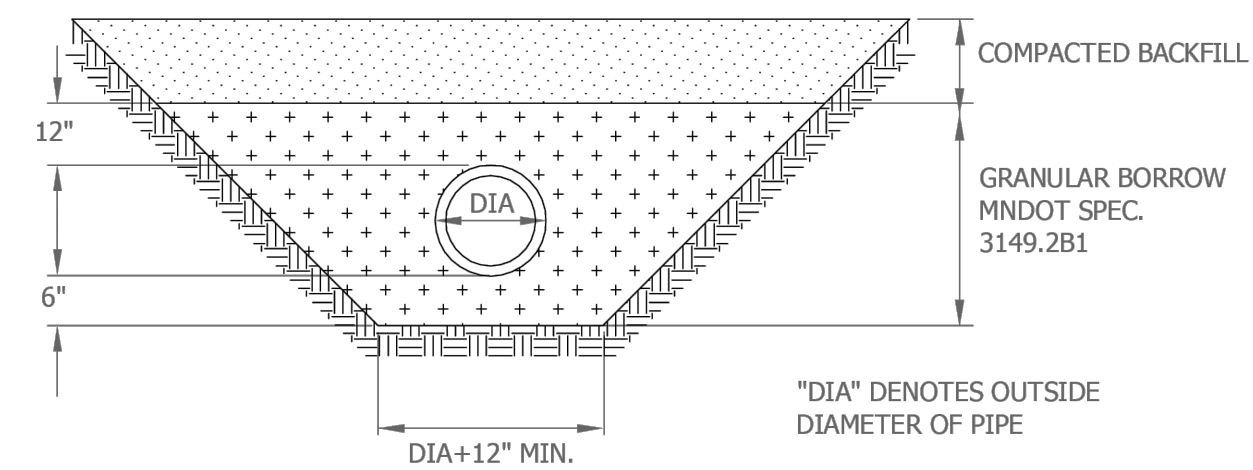


Know what's **below**.
Call before you dig.

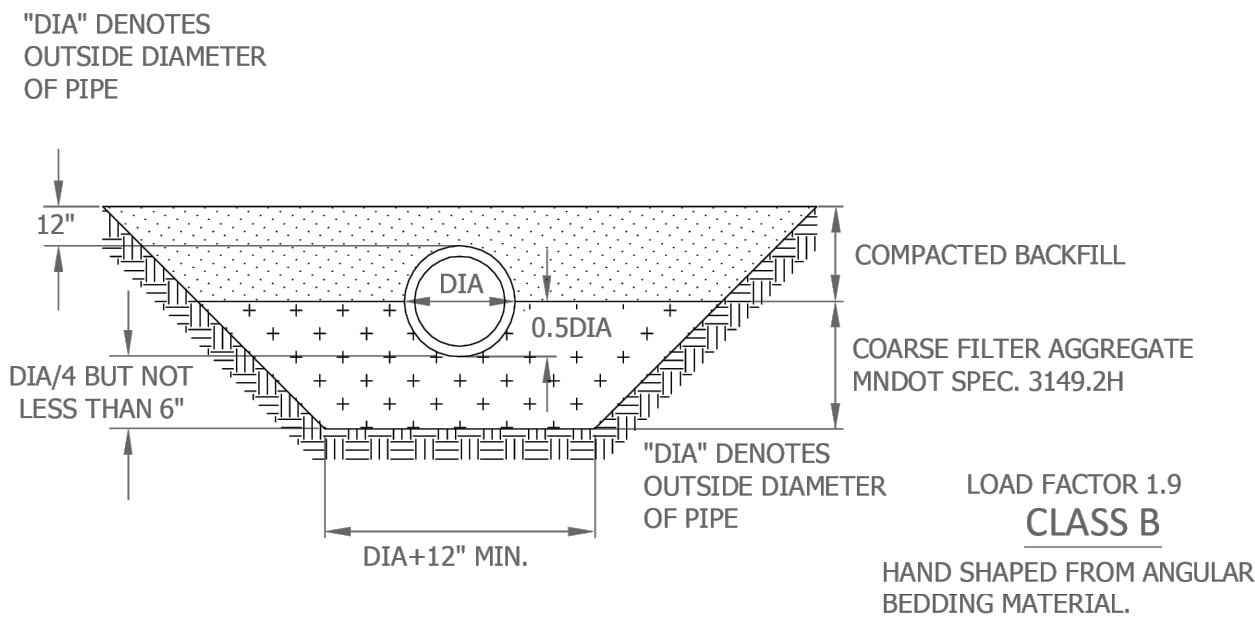
UTILITY PLAN NOTES

1. INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
2. CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
4. SANITARY SEWER PIPE SHALL BE:
PVC SCH 40: ASTM D-1785, F-714, F-894
SANITARY SEWER FITTINGS SHALL BE:
PVC SCH40: ASTM D-2065, F-2794, F-1866
5. WATER MAIN PIPE SHALL BE:
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
6. NO HDPE OR RCP PIPE TO BE USED TO CROSS ABOVE OR LESS THAN 12" BELOW POTABLE WATER LINES. MUST USE SCH 40 PIPE FOR THESE CROSSINGS.
7. WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
8. PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
9. MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
10. FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
11. MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10'-0" HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
12. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSED UTILITY LINE. SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
13. ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
14. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
15. IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
16. REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
17. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
18. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
19. EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
20. EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
21. COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
22. WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4 FEET OF COVER IN PAVED AREAS OR 3 FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5 FEET IN WIDTH, CENTERED ON THE PIPE.

SHEET NUMBER		C600	
UNIVERSAL SERVICES BUILDING PREPARED FOR STUDIO EA		MINN	
UTILITY PLAN			
KHA PROJECT 161208000 DATE 06/25/2024		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
SCALE AS SHOWN		DESIGNED BY RWC	
DRAWN BY RWC		CHECKED BY ALC	
DATE: 06/25/2024		LIC. NO. 47969	
ALAN L. CATCHPOOL		MN	
Kimley»»Horn		© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-445-4197 WWW.KIMLEY-HORN.COM	
WATERSHED COMMENTS		06/25/2024 RWC	
WATERSHED COMMENTS		05/31/2024 RWC	
REVISIONS		DATE BY	



CITY PLATE NO
BED-1



6"

DIA/4 BUT NOT LESS THAN 6"

DIA

0.5 DIA

"DIA" DENOTES OUTSIDE DIAMETER OF PIPE

DIA+12" MIN.

COMPACTED BACKFILL

COARSE FILTER AGGREGATE
MNDOT SPEC. 3149.2H

LOAD FACTOR 1.5
CLASS C-2

HAND SHAPED FROM ANGULAR

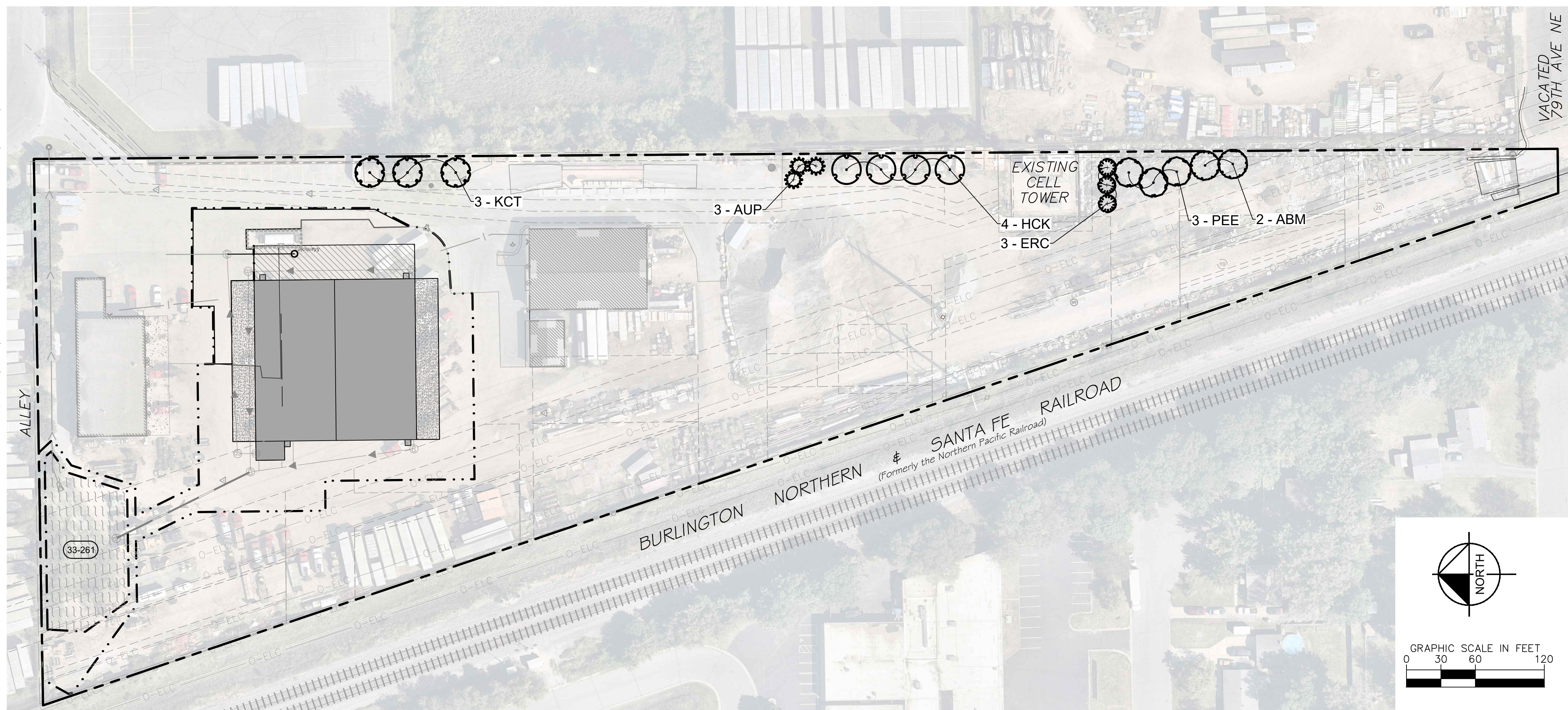


CITY PLATE NO
BED-2

CITY PLATE NO
SER-3

NO	REVISIONS	DATE	BY	RWC#
2	WATERSHED COMMENTS	06/25/2024		RWC#
1	WATERSHED COMMENTS	05/31/2024		RWC#

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LANDSCAPE NOTES

PLANTING

- CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MMLA & ANSI STANDARD PLANTING PRACTICES.
- INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM MNDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

SOIL

- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL, BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.

MULCH

- MULCH TO BE AT ALL TREES. TREE PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDDED HARDWOOD MULCH. DOUBLE SHREDDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR (DYE-FREE), OR APPROVED EQUAL. APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS, USE PREEN OR PRE-APPROVED EQUAL.

ESTABLISHMENT

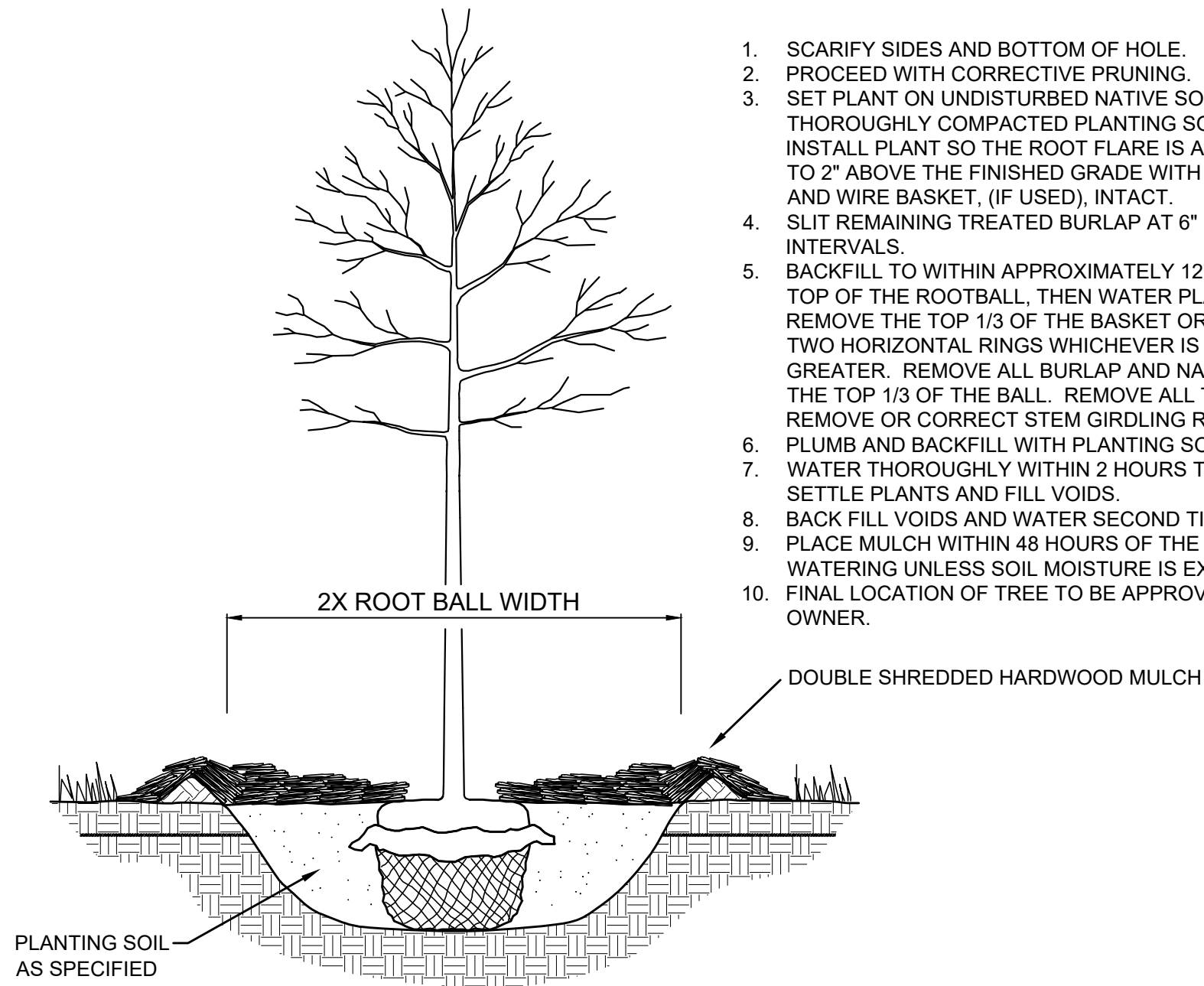
- PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

WARRANTY

- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD: 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECITES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

NOTES:

- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING.
- SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
- SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
- BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH PLANTING SOIL.
- WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
- BACK FILL VOIDS AND WATER SECOND TIME.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



1

TREE PLANTING DETAIL

SCALE: N.T.S.

L100

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	CAL.
CONIFEROUS TREES						
	AUP	3	AUSTRIAN PINE	PINUS NIGRA	B & B	8' HT.
	ERC	3	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	B & B	8' HT.
OVERSTORY TREES						
	ABM	2	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	B & B	3" CAL MIN
	HCK	4	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B & B	3" CAL MIN
	KCT	3	TRUE NORTH™ KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'UMNSYNERGY'	B & B	3" CAL MIN
	PEE	3	PRAIRIE EXPEDITION AMERICAN ELM	ULMUS AMERICANA 'LEWIS & CLARK' TM	B & B	3" CAL MIN

NOTE: PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPECIES QTY. = QUANTITY

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

SEEDING KEYNOTES

33-261 SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)

NOTE: ALL SEED MIXES SHALL INCLUDE PROPER EROSION CONTROL FEATURES. WATERING DURING THE ESTABLISHMENT PERIOD AND ONGOING MAINTENANCE PER MANUFACTURER/SUPPLIER SPECIFICATION AND REQUIREMENTS.

22-112



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Call before you dig.

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PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RYAN A. HYLESTED
M.N. 53828

KHA PROJECT
161208000
DATE
06/25/2024
SCALE
AS SHOWN
DESIGNED BY
ATK
DRAWN BY
ATK
CHECKED BY
RAH

LANDSCAPE PLAN

UNIVERSAL SERVICES
BUILDING
PREPARED FOR
STUDIO EA

SHEET NUMBER
L100

FRIDLEY MN

Permit Application Review Report
Date: 7/18/2024

Board Meeting Date: 7/22/2024
Agenda Item: 9

Applicant/Landowner:

Legacy 88 LLC
Attn: Paul Archambault
2716 Pahl Ave
St. Anthony, MN
55418

Project Name: Xylite Building

Project PAN: P-24-010

Project Purpose: construction of a new warehouse and associated stormwater treatment features

Project Location: intersection of Xylite St. NE and Rice Creek Parkway NE, Blaine MN

Site Size: size of parcel - 4.0 acres; size of disturbed area - 3.5 acres; size of regulated impervious surface - 2.2

Applicable District Rule(s): Rule 2, Rule 3, Rule 4, Rule 5

Recommendation: Approve with 3 Conditions and 3 Stipulations

Description: The project proposes the construction of a new warehouse building, parking and associated infiltration basins for stormwater treatment. The project will disturb 3.5 acres and create 2.2 acres of new and regulated impervious. The parcel drains to County Ditch 41. The relevant water resource concerns are stormwater management, erosion and sediment control and wetlands, which correspond to District Rules 3, 4 and 5. See attached Figure 1: Project Location and Figure 2: Site Plan.

Conditions to be Met Before Permit Issuance:

Rule 2.7 – Procedural Requirements

1. Submittal of a performance escrow in the amount of \$3,750.00.

Rule 3.0 – Stormwater Management

2. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.

Rule 4.0 – Soils and Erosion Control

3. Update Erosion & Sediment Control Plan to include the following:
 - a. Update construction plan set Sheet C3.4 - Stabilize Soils to stabilize soil and soil

stockpiles within 7 days of inactivity.

b. Include a note that adjacent streets will be swept clean of sediment by the end of each workday.

Stipulations: The permit will be issued with the following stipulations as conditions of the permit. By accepting the permit, the applicant agrees to these stipulations:

1. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
2. Completion of post construction infiltration tests on Infiltration Basin 1P and 2P by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.

Exhibits:

Exhibit Type	Exhibit Author	Signature Date	Received Date
Joint Application	Kjolhaug Environmental Services	05/23/2024	05/24/2024
Wetland Delineation & update figure 2	Kjolhaug Environmental Services	11/13/2023	11/14/2023
Geotechnical Addendum	Braun Intertec	06/25/2024	06/26/2024
Geotechnical Evaluation Report	Braun Intertec	11/07/2023	07/15/2024
Stormwater Narrative	Landform	07/15/2024	07/15/2024
Construction Plans	Landform	07/15/2024	07/15/2024

Findings

Fees and Escrows (Rule 2.7):

The applicant has submitted a \$4,010.00 application fee and deposit which corresponds with the nonrefundable application fee (\$10), base fee for a Commercial/Industrial Development project of 4.0 acres (\$4,000.00). The applicant will be required to submit a performance escrow in the amount of \$3,750.00. This corresponds to a base escrow of \$2,000, plus an additional \$500/acre of disturbance (3.5 acres of land disturbance proposed).

Stormwater Management (Rule 3.0):

Rule 3.0 applies to the proposed project because it includes land disturbing activities creating a cumulative total of 10,000 sf or more of new or fully reconstructed impervious surface.

The Hydrologic Soil Group (HSG) of soils on site are HSG B. Curve Numbers have been shifted down one classification to account for the impacts of grading on soil structure.

Rate Control: Peak stormwater flow rate at each point of site discharge does not increase from the pre-development condition for the 24-hour precipitation event with a return frequency of 2-, 10-, 100- years as shown in Table 1. The project will not impact Drainage Sensitive Use areas. The rate control standard is met.

Point of Discharge	2-year (cfs)		10-year (cfs)		100-year (cfs)	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
Xylite St	0.6	0.5	1.3	1.1	3	2.6
SW Wetland	0.8	0.5	3.6	1.1	11.4	2.6
NW Wetland	0.6	0.5	2.4	1.5	7.7	6.5

Table 1.

Volume Control: The proposed project is new development; therefore, the volume reduction requirement is equal to 1.1 inches over the area of all impervious surface. The amount of proposed impervious required to be treated is 96,677 ft².

The applicant is proposing the Stormwater Management Practices (SMPs) described below:

Drainage Area	Impervious required to be treated (ft ²)	Proposed SMP	TP Removal Factor	Required Water Quality Volume (ft ³)	Water Quality Volume Provided (ft ³)
1S	243	none	0	22	0
Basin 2 (5S)	2,293	infiltration basin 2	1	210	909
Basin 1 (4S)	94,141	infiltration basin 1	1	8,629	13,864
Totals:	96,677			8,862	14,773

Table 2.

The following pretreatment has been provided:

SMP ID	Pretreatment Device/Method	Percent TSS Removal
CBMH-41	catch basin sump w/ preserver	99
CBMH-11	catch basin sump w/ preserver	81

Table 3.

Pretreatment is required to be designed such that the device/method provides removal of 80% TSS entering an infiltration or filtration Stormwater Management Practice. The proposed project meets pretreatment requirements as shown in Table 3.

Drainage area 1S includes a negligible portion of the new drive entrances that cannot be routed to a stormwater treatment feature. The volume control standard has been met to the maximum extent practicable as shown in Table 2.

Water Quality: The total Water Quality Volume has been provided in aggregate.

Stormwater treatment on site must remove at least 80% of the average annual post development TSS per discharge location. The following TSS removal has been provided:

Discharge Point	TSS Removal Provided
Xylite - untreated	0
Xylite - basin 2	100
SW Wetland	100
NW Wetland	100

Table 4.

The untreated Xylite discharge point is drainage area 1S which cannot be routed to a treatment feature as noted in the volume control section. This accounts for less than 1% of the total regulated impervious. The TSS removal standard is met to the maximum extent practicable as shown in Table 4.

Discharges to Wetlands: Stormwater from the proposed project is being discharged into the following

wetlands.

Wetland ID	4P
Wetland Type	Slightly Susceptible
Change of Bounce 2-yr (ft)	-0.05
Change of Bounce 10-yr (ft)	-0.02
Change of Inflow Velocity (fps)	Negligible
Change of Inundation on 2-yr (hrs)	0
Change of Inundation on 10-yr (hrs)	2
Change of Run out Control (ft)	N/A

Wetland ID	3P
Wetland Type	Slightly Susceptible
Change of Bounce 2-yr (ft)	0.01
Change of Bounce 10-yr (ft)	0.02
Change of Inflow Velocity (fps)	Negligible
Change of Inundation on 2-yr (hrs)	2.2
Change of Inundation on 10-yr (hrs)	1.8
Change of Run out Control (ft)	N/A

Table 5.

The proposed project meets bounce, discharge rate, inundation, and runout control requirements for all wetlands receiving discharge from the site as shown in Table 5.

Landlocked Basins: The proposed drainage system does not outlet to a landlocked basin, therefore this section does not apply.

Low Floor Freeboard: The proposed project is new development which includes buildings and habitable structures. Therefore, SMPs must be designed such that the lowest basement floor elevations are at least 2 feet above the 100-yr high water level and 1 foot above the emergency overflow. The lowest basement floor elevation proposed is 915 ft MSL. The applicable 100-year high water levels are 909.2 and 910.3 ft MSL and the applicable emergency overflows are at 909.5 and 911.5 ft MSL. The freeboard requirement is met.

Maintenance:

Access: Sufficient maintenance access has been provided on the plans for all stormwater management practices.

Maintenance Agreements: The proposed stormwater management practices will not be maintained as part of standard municipal public work activities. Therefore, a maintenance agreement that meets District standards will be required.

Soils and Erosion Control (Rule 4.0)

Rule 4.0 applies to the proposed project because it is a land disturbing activity that requires a permit under another District rule.

The proposed project drains to County Ditch 41. The soils affected by the project include Soderville and Zimmerman and do not have a soil erodibility factor of 0.15 or greater. Disturbed areas are not proposed to be stabilized within 7 days, as required. The proposed erosion and sediment control plan includes perimeter control, inlet protection and rock construction entrance. The erosion control plan does not meet District requirements because soils and soil stockpiles are not proposed to be stabilized within 7 days as required and streets are not proposed to be swept clean of sediment at the end of each working day. See attached Figure 3: Erosion & Sediment Control Plan.

Wetlands (Rule 5.0)

Rule 5.0 applies to the proposed project because it includes activities which result in the filling, draining, excavating or other altering the hydrology of a wetland.

Wetlands were delineated under PAN W23-039. The boundary and type application was reviewed and approved. The Notice of Decision was issued on 05/15/2024.

The applicant submitted a joint application form requesting an exemption decision on 05/24/2024. The application was noticed to the TEP on 5/28/2024. Wetland impacts are proposed through fill in 1 location. See attached Figure 4: Wetland Impacts.

Wetland ID	Impact Type (F/D/E)	Impacts (sf)	Impact Duration (T/P)	Replacement Ratio	Required Mitigation (sf)
2	Fill	1081	Permanent	-	0

Table 6.

The TEP agrees that the proposed project meets the requirements for an exemption under Exemption (8420.0420) Subpart 8. The Notice of Decision was issued on 06/12/2024.

Floodplain (Rule 6.0)

The proposed project does not include land disturbing activities within the floodplain as mapped and modeled by the District. Rule 6.0 does not apply.

Drainage, Bridges, Culverts, and Utility Crossings (Rule 7.0)

The proposed project does not include land disturbing activities which construct, improve, repair, or alter the hydraulic characteristics of a bridge profile control or culvert structure on a creek, public ditch, or major watercourse. The proposed project does not include land disturbing activities which involve a pipeline or utility crossing of a creek, public ditch, or major watercourse.

The proposed project does not include land disturbing activities which construct, improve, repair or alter the hydraulic characteristics of a conveyance system that extends across two or more parcels of record not under common ownership and has a drainage area of 200 acres or greater. Rule 7.0 does not apply.

Buffers (Rule 8.0)

The proposed project does not include a land disturbing activity on land adjacent or directly contributing to a Public Water, Additional Waters, High or Outstanding Ecological Value Waters, a Public Ditch, or Impaired Waters/waters exceeding state water quality standards. Rule 8.0 does not apply.

Variances (Rule 10.2)

The proposed project does not request a variance from the District's rules, regulations, and policies. Rule 10.2 does not apply.

P-24-010



Figure 1: Project Location

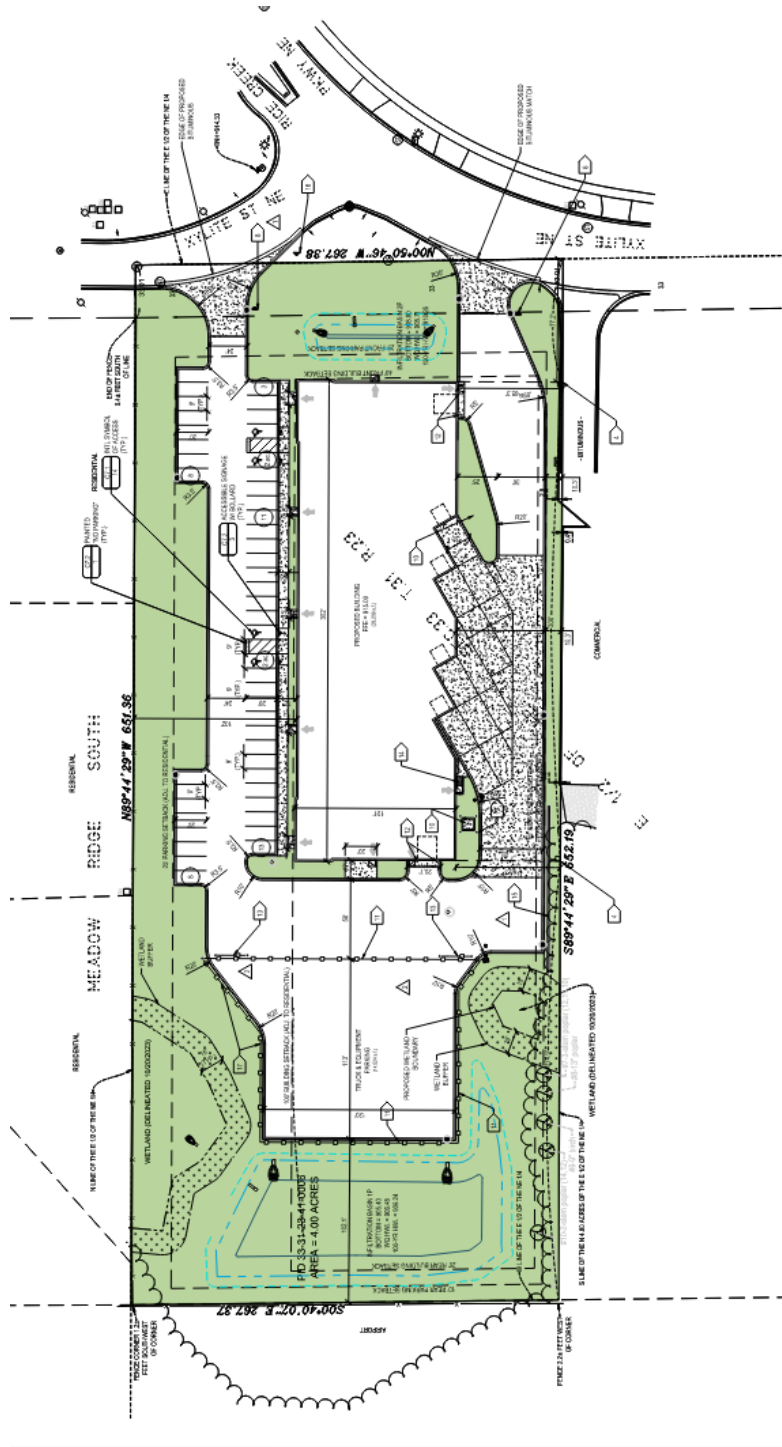


Figure 2: Site Plan

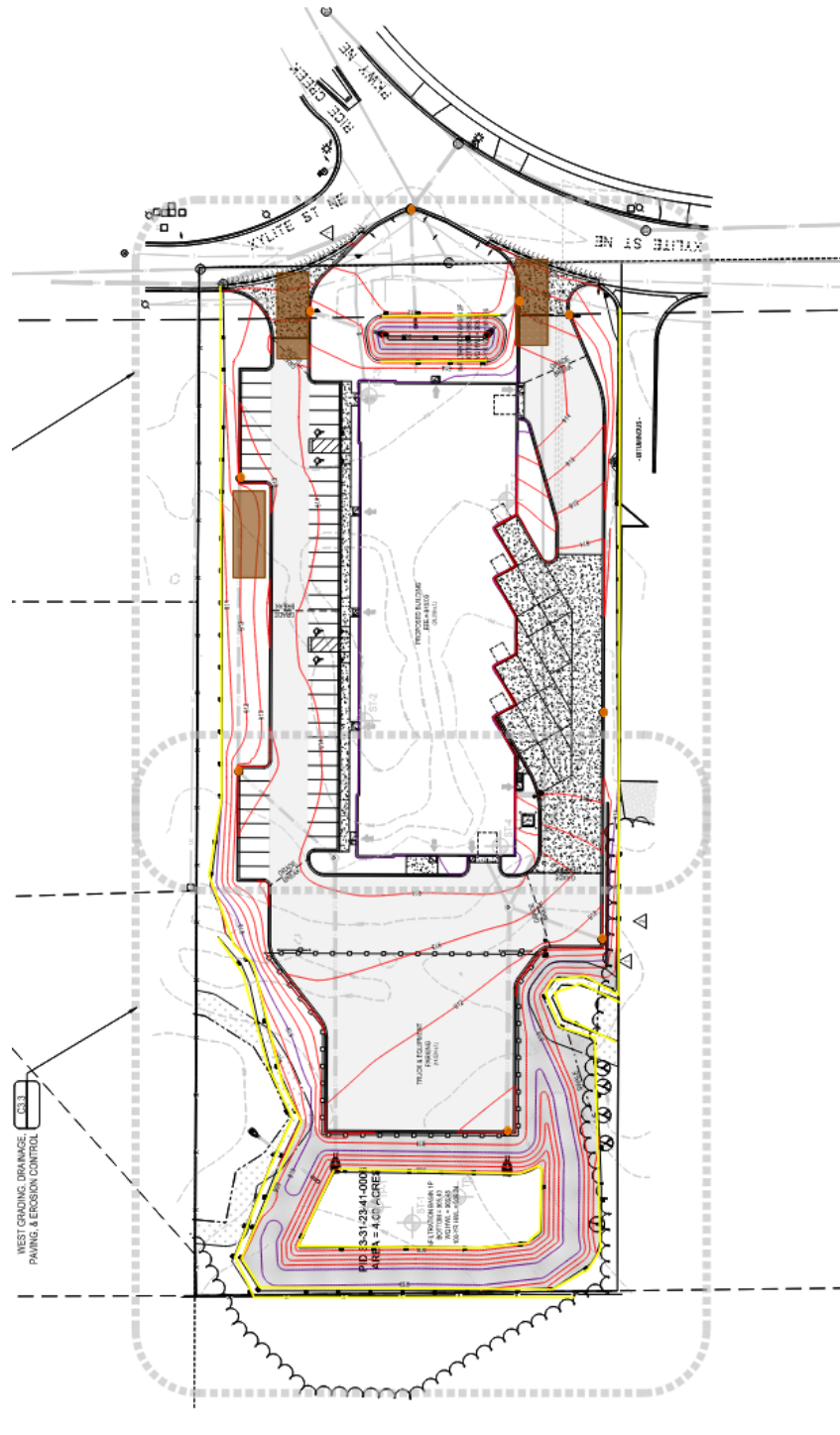


Figure 3: Erosion & Sediment Control Plan

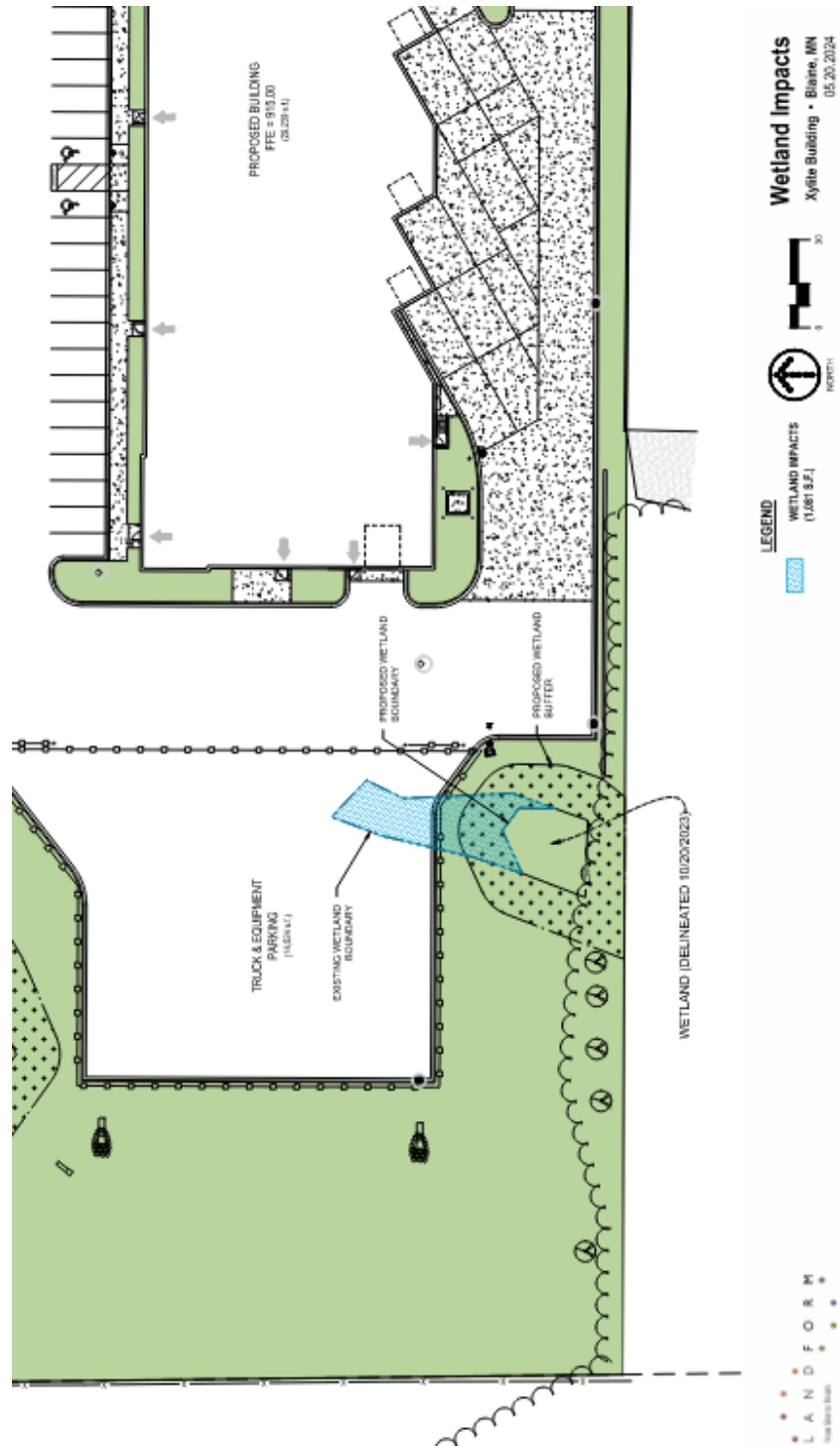
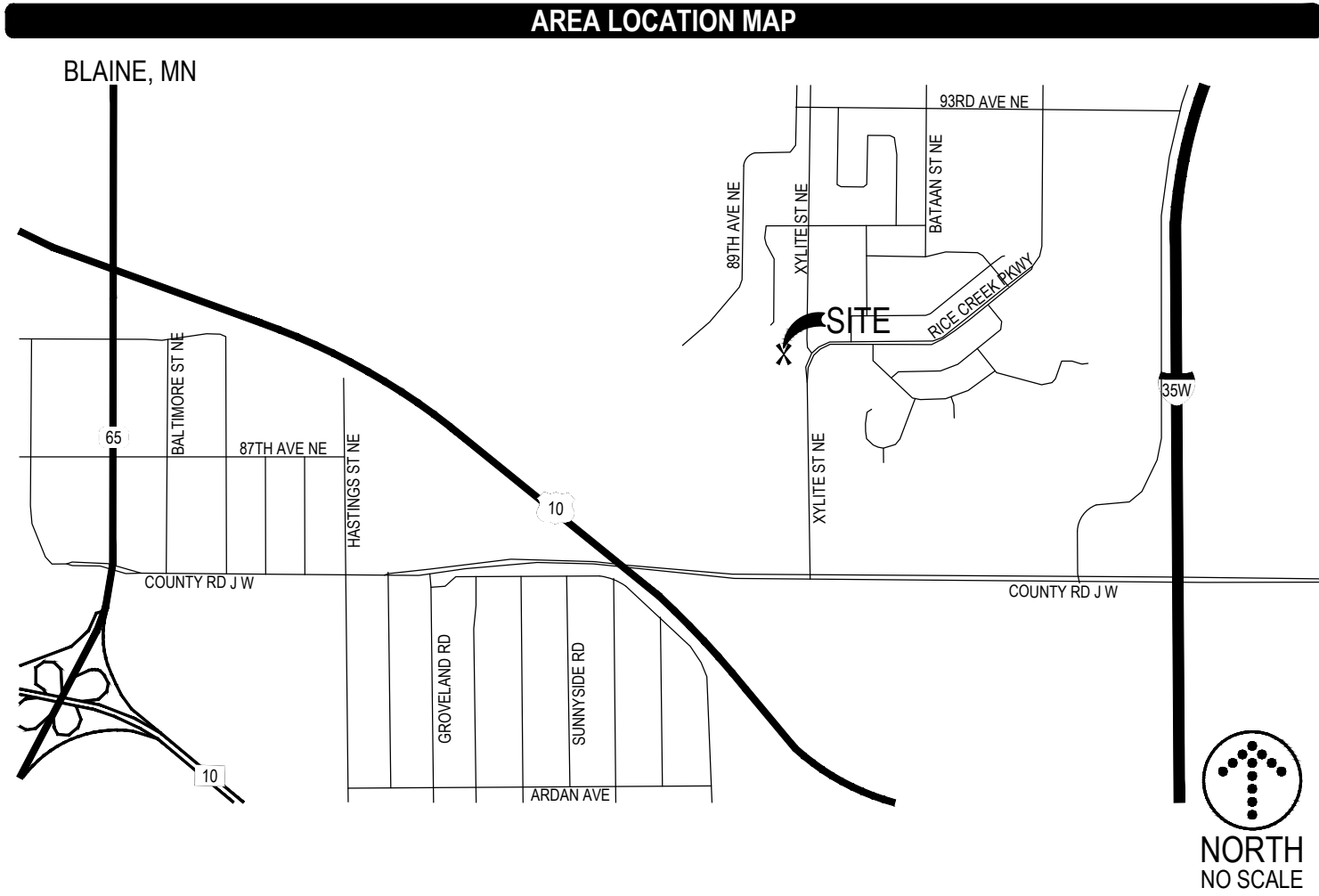


Figure 4: Wetland Impacts



ABBREVIATIONS			
D	Angle	LB.	Pound
&	And	LGU	Local Government Unit
@	At	LB.	Pound
100 YR.	100 Year Flood Elevation	LB.	Longitudinal
A.B.	Anchor Bolt	LT.	Light / Lighting
A.D.	Area Drain	MAINT.	Maintenance
A/C	Air Conditioning Unit	MAS.	Masonry
ADD.	Addendum	MATL.	Material
ADDL.	Additional	MAX.	Maximum
ADJ.	Adjacent / Adjust	MECH	Mechanical
AHU	Air Handling Unit	MED.	Medium
ALT.	Alternate	MFR.	Manufacturer
ALUM.	Aluminum	MH	Manhole
ANOD.	Anodized	MIN.	Minimum / Minute
APPROX.	Approximate	MISC.	Miscellaneous
ARCH	Architect / Architectural	MNDOT	Minnesota Department Of Transportation
AUTO.	Automatic	MOD.	Module / Modular
AVG.	Average	MUL.	Mulch
B.C.	Back of Curb	N.	North
B.W.	Bottom of Wall	N.I.C.	Not in Contract
BFE	Basement Floor Elevation	NO. OR #	Number
BIT	Bituminous (Asphaltic)	NOM	Nominal
BLDG	Building	NTS	Not to Scale
BM	Benchmark	NWE	Normal Water Elevation
BSMT.	Basement	NWL	Normal Water Level
C.F.	Cubic Feet	O.F.	On Center
C.F.S.	Cubic Feet Per Second	O.G.	Outside Dimension
C.G.	Corner Guard	O.H.	Overhead Electric
C.J.	Control Joint	OH.	Overhead
C.L.	Centerline	OHWL	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	OPNG.	Opening
C.O.	Cleanout	ORIG.	Original
C.O.E.	U.S. Army Corps of Engineers	P.C.	Point of Curvature
C.Y.	Cube Yards	P.I.	Point of Intersection
CB	Catch Basin	PIV	Post Indicator Valve
CBMH	Catch Basin Manhole	P.L. OR P/L	Property Line
CEM	Cement	P.O.B.	Point of Beginning
CIP	Cast Iron Pipe	P.S.F.	Pounds Per Square Foot
CMP	Corrugated Metal Pipe	P.S.I.	Pounds Per Square Inch
CONC.	Concrete (Portland)	P.T.	Point of Tangency
CONN.	Connection	P.V.C.	Point of Vertical Curvature
CONST.	Construction	P.V.I.	Point of Vertical Intersection
CONT.	Continuous	P.V.T.	Point of Vertical Tangency
CONTR.	Contractor	PE	Polyethylene
COP.	Copper	PED.	Pedestal / Pedestrian
CU.	Cubic	PERF.	Perforated
D.S.	Down Spout	PREP.	Preparation
DEG.	Degree	PROJ.	Project
DEMO.	Demolition / Demolish	PROP.	Proposed
DEPT.	Department	PVC	Poly-Vinyl-Chloride (Piping)
DET.	Detail	P.V.M.T.	Pavement
DIA.	Diameter	QTR.	Quarter
DIAG.	Diagonal	QTY.	Quantity
DIM.	Dimension	R	Radius
DIP	Ductile Iron Pipe	RAD.	Radius
DN	Down	RE	Rim Elevation (Casting)
DWG.	Drawing	R.D.	Roof Drain
E.	East	R.E.	Remove Existing
E.J.	Expansion Joint	R.O.	Rough Opening
E.O.	Emergency Overflow	R.P.	Radius Point
E.O.S.	Emergency Overflow Swale	RC	Reinforced Concrete Pipe
E.W.	Each Way	R.S.	Rough Slab
E.A.	Each EL. Elevation	RSD	Roof Storm Drain
ELEC.	Electrical	RE	Regarding
ELEV.	Elevation	REINF.	Reinforced
EMER.	Emergency	REQ'D	Required
ENGR.	Engineer	REV.	Revision / Revised
ENTR.	Entrance	RGU	Regulatory Government Unit
EQ.	Equal	ROW OR RW	Right of Way
EQUIP.	Equipment	S	South
EQUIV.	Equivalent	S.F.	Square Feet
EXIST.	Existing	SAN.	Sanitary Sewer
EXP.	Expansion	SECT.	Section
F & I	Furnish and Install	SE	Split Entry / Side Exit
F.B.O.	Furnished by Others	SEWO	Split Entry Walk Out / Side Exit Walk Out
F.C.	Face of Curb	SHT.	Sheet
F.D.	Floor Drain	SIM.	Similar
F.D.C.	Fire Department Connection	SLNT.	Sealant
F.V.	Field Verify	SPEC.	Specification
FB	Full Basement	SQ.	Square
FBWO	Full Basement Walk Out	SSD	Subsurface drain
FBLO	Full Basement Look Out	SSWR	Sanitary Sewer
FDN.	Foundation	STMH	Storm Sewer Manhole
FES	Flared End Section	STD.	Standard
FFE	Finished Floor Elevation	STRUCT.	Structural
FLR	Floor	SYM.	Symmetrical
FT. OR ()	Foot	T	Thickness
FUT.	Future	TR	Top of Rim
G.B.	Grade Break	T/W	Top of Wall
G.C.	General Contractor	TEMP.	Temporary
GAL.	Gallon	THK.	Thick / Thickness
GALV.	Galvanized	T.J.	Tooled Joint
GFE	Garage Floor Elevation	TNH	Top Nut Hydrant
GL.	Glass	TYP.	Typical
GR.	Grade	U.N.O.	Unless Noted Otherwise
H.	Height	V.B.	Vapor Barrier
H.P.	High Point	V.C.	Vertical Curve
HDPEP	High Density Polyethylene Pipe	V.I.F.	Verify In Field
HGT.	Height	VER.	Verify
HORIZ.	Horizontal	VER.	Vertical
HVAC	Heating, Ventilation, Air Conditioning	VEST.	Vestibule
HYD	Hydrant	W	Width
I.D.	Inside Dimension OR Identification	W.P.T.	Working Point
I.E. or IE	Invert Elevation	W.W.F.	Welded Wire Fabric
IN. OR ()	Inches	W	With
INFO.	Information	W/O	Without
INL.	Inlet Elevation	WO	Walk Out
INSUL.	Insulation	VER.	Welland
INV.	Invert Elevation	WP	Waterproof
J.T.	Joint	WETL.	Weight
L.F.	Linear Feet	YD.	Yard
L.P.	Low Point / Liquid Petroleum	YR.	Year

SYMBOLS		NEW	
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY / OVERHANG
	CONCRETE		CONCRETE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FIELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	UNDERGROUND FIBER OPTIC		POWER POLE
	UNDERGROUND ELECTRIC		SLOPE DIRECTION
	GAS LINE		CATCH BASIN
	CONCRETE CURB		MANHOLE
	FENCING		BOLLARD
	RETAINING WALL		STORM SEWER
	SET 1/2\"/>		SANITARY SEWER-WASTE
	IRON MONUMENT FOUND		FORCE MAIN
	POWERPOLE		ROOF DRAIN SYSTEM
	GUY WIRE		WATERMAIN
	GUARD POST		FIRE LINE (IF SEPARATE)
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		SOIL SUBDRAIN
	WATER SHUT-OFF VALVE		GAS LINE-UNDERGROUND
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	FLAG POLE		TELEPHONE-UNDERGROUND
	LIGHT POLE		UNDERGROUND CABLETV
	TREES		LAWN SPRINKLER SLEEVE
	TREE LINE		
	STORM MANHOLE		
	SANITARY MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLOT		
	SOIL BORING		

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOST/BIO LOG
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS	
SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION	
UNPLATTED CITY OF BLAINE N 4 ACRES OF E 1/2 OF NE 1/4 OF SE 1/4 SEC 33-31-23 IN ANOKA COUNTY, MN.	

BENCHMARK	
PROJECT BENCHMARKS:	
MNDOT 0214A MONUMENT, IN BLAINE, 1.9 MILES NORTHWEST ALONG TRUNK HIGHWAY 10 FROM THE JUNCTION OF TRUNK HIGHWAY 10 AND INTERSTATE HIGHWAY 35, AT TRUNK HIGHWAY 10 MILEPOINT 235.05, 93.2 FEET NORTHEAST OF WESTBOUND TRUNK HIGHWAY 10, 1.5 FEET SOUTHWEST OF A WITNESS POST.	
ELEVATION = 914.88 (NAVD 88)	
MNDOT 0280Z MONUMENT, IN BLAINE, 0.3 MILE SOUTH ALONG SOUTHBOUND INTERSTATE HIGHWAY 35W FROM THE JUNCTION OF INTERSTATE HIGHWAY 35W AND COUNTY ROAD 52 IN BLAINE, AT INTERSTATE HIGHWAY 35W MILEPOINT 31.7, 75.0 FEET WEST OF A SOUTHBOUND INTERSTATE HIGHWAY 35W FOG LINE, 96.0 FEET WEST OF THE ON-RAMP TO SOUTHBOUND INTERSTATE HIGHWAY 35W FROM COUNTY ROAD 52, 3.8 FEET EAST OF A RIGHT-OF-WAY FENCE, 19.1 FEET NORTH OF EXTENDED 53RD AVENUE NORTHEAST, 25.0 FEET EAST OF INTERSTATE HIGHWAY 35W SERVICE DRIVE, 37.1 FEET SOUTHWEST OF A LIGHT POLE, 1.5 FEET EAST OF A WITNESS POST.	
ELEVATION = 908.09 (NAVD 88)	
SITE BENCHMARK:	
TOP NUT OF HYDRANT NORTH OF INTERSECTION OF RICE CREEK PARKWAY NE AND XYLITE STREET NE.	
ELEVATION = 914.33 (NAVD 88)	

OWNER	
STINSON ELECTRIC	
750 4TH STREET NW NEW BRIGHTON, MN, 55418 TEL 612-788-0244	

PROJECT CONTACTS	
CIVIL ENGINEER LANDFORM	SURVEYOR LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: TOM MEYER	105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: LARRY HUHN

LANDSCAPE ARCHITECT LANDFORM	ARCHITECT LAMPERT ARCHITECTS
105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: JOSH POPEHN	420 SUMMIT AVENUE ST. PAUL, MN 55102 TEL 763-755-1211 CONTACT: JAMES BERTHIAUME

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX	
SHEETS ISSUED BY DATE	
SHEET NO.	DESCRIPTION
C0.1	CIVIL & LANDSCAPE TITLE SHEET
C1.1	EXISTING CONDITIONS & DEMOLITION
C2.1	SITE PLAN
C3.1	OVERALL GRADING, DRAINAGE, PAVING, & EROSION CONTROL
C3.2	EAST GRADING, DRAINAGE, PAVING, & EROSION CONTROL
C3.3	WEST GRADING, DRAINAGE, PAVING, & EROSION CONTROL
C3.4	SWPPP NOTES
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
C7.3	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE PLAN
L7.1	LANDSCAPE DETAILS

CERTIFICATIONS	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
TOM MEYER, P.E.	
LICENSE NUMBER: 42016	DATE: JULY 15, 2024

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.	
JOSH POPEHN, RLA	
LICENSE NUMBER: 44803	DATE: JULY 15, 2024

DEVELOPER

RJ RYAN CONSTRUCTION INC.

110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY

PROJECT

XYLITE BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 DEC 2023	CLIENT REVIEW SET	TOM
24 JAN 2024	PRICING SET	CNC
13 FEB 2024	DRAFTED PRICING SET	TOM
26 FEB 2024	PERMIT SET	TOM
27 MAR 2024	RESPONSE TO CITY COMMENTS	TOM
29 MAY 2024	CITY COMMENTS	TOM
15 JUL 2024	WATERSHED SUBMITTAL	TOM
	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

WATERSHED RESUBMITTAL

07/15/2024

LANDFORM

From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

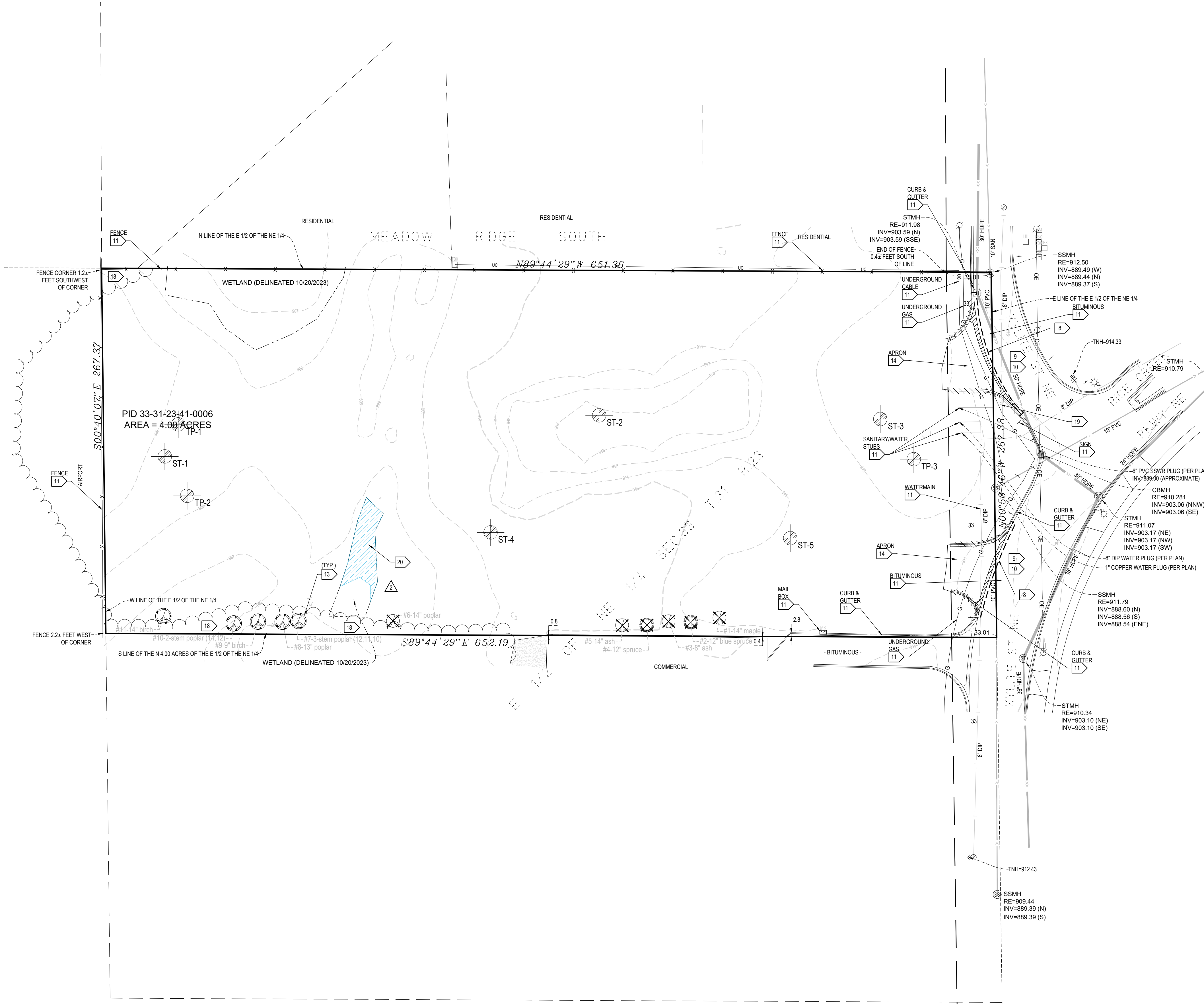
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C001RJR003

PROJECT NO.: RJR23003

CIVIL & LANDSCAPE
TITLE SHEET

C0.1



- EXISTING CONDITIONS
1. Background information shown is from survey by Landform, Minneapolis, MN, on July 6th, 2023, expressly for this project. City of Blaine, MN record drawings; utility service providers; and wetland boundaries from a delineation report prepared by Kipphaug Environmental Services dated 11/13/2023. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.
2. Geotechnical boring locations are approximate and are based on information provided in the Geotechnical Report prepared by Braun Intertec, Minneapolis, MN, on November 7th, 2023.
- GENERAL NOTES
3. For construction staking and surveying services contact Landform at 612.252.9070.
- DEMOLITION AND CLEARING NOTES
3. Obtain permits for demolition, clearing, and disposal prior to beginning.
4. Contact utility service providers for field location of services 72 hours prior to beginning demolition and clearing.
5. See Sheets C3.1-C3.3 for erosion prevention and sediment control measures that must be in place prior to disturbances to site.
6. Reserved.
7. Dimensions shown for removal are approximate. Coordinate with new construction to ensure appropriate removal of existing facilities.
8. Pavement sawcut. Remove concrete walks and curbing to the nearest existing joint beyond construction limits.
9. Complete demolition with minimal disruption of traffic. Coordinate lane closures with the regulatory authority and provide advance notification to affected emergency response providers.
10. Provide barricades, lights, signs, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction.
11. Protect structures, utilities, trees, plant material, soil, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.
12. Reserved.
13. Protect trees indicated with tree protection fencing per Detail C7.1.5.
14. Remove existing site features including, but not limited to, underground utilities, paving, curbing, aprons, related foundations, and landscaping within the construction limits unless noted otherwise.
15. Coordinate removal, relocation, termination, and re-use of existing private utility services and appurtenances with the utility companies. Restore electric handholes, pullboxes, powerpoles, guylines, and structures disturbed by construction in accordance with utility owner requirements.
16. Existing piping and conduits may be abandoned in-place if filled with sand and if not in location of proposed building or in conflict with proposed utilities or structures. Terminate existing services at the supply side in conformance with provider's standards.
17. Haul demolition debris off-site to a facility approved by regulatory authorities for the handling of demolition debris, unless noted otherwise.
18. Protect wooded areas outside of the grading limits from construction activity at all times during construction. Contractor shall protect the entirety of the tree including but not limited to the roots, foliage, trunk, and branches. Refer to Sheet C3.1-C3.3 for proposed grading limits.
19. Remove and salvage existing street sign. Refer to Sheet C2.1 for proposed location.
20. The contractor shall limit the area of wetland disturbance to the extents indicated on the plan. Refer to Sheet C2.1 for proposed wetland boundary and buffer.

LEGEND

	:Tree Protection
	:Tree Removal
	: Concrete Removal
	:Soil Boring
	:Curb Removal
	:Pavement Sawcut
	: Wetland Disturbance (1,081 s.f.)

DEVELOPER

RJ RYAN CONSTRUCTION INC.
110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY

BLAINE

PROJECT

XYLITE
BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY		
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03 MAY 2024	CITY COMMENTS	TOM
20 MAY 2024	WATERSHED SUBMITTAL	TOM
15 JUL 2024	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No: 42016 Date: 07/15/2024

Signature shown is a digital reproduction of original. Not signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED RESUBMITTAL

07/15/2024

From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

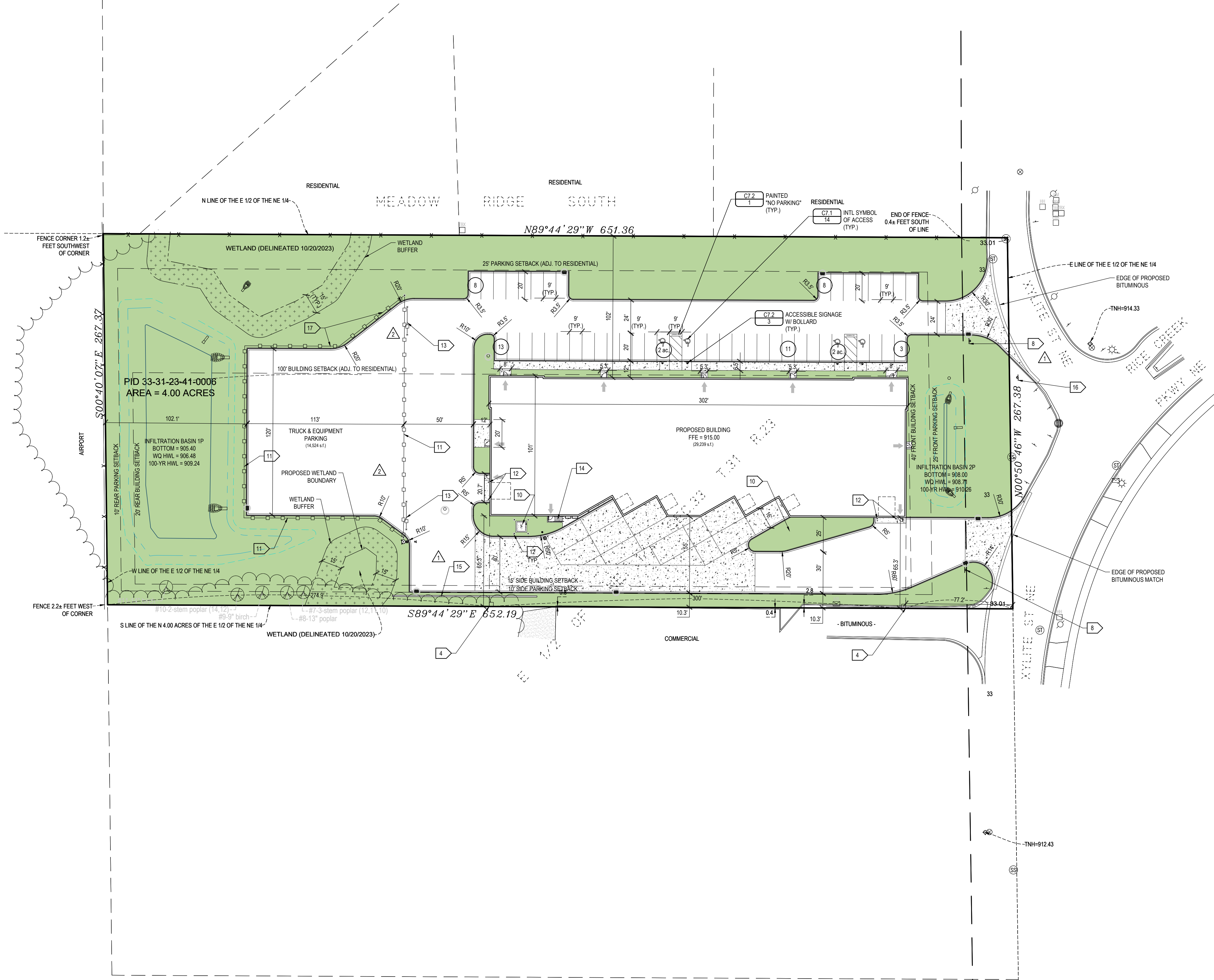
FILE NAME C101RJ003

PROJECT NO. RJR23003

EXISTING CONDITIONS & DEMOLITION

C1.1

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GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.

SITE PLAN NOTES

- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
- Building layout angles are parallel with or perpendicular to the property line at the location indicated.
- Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
- Delineate parking stalls with a 4-inch wide white painted stripe. Delineate access aisles with 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
- Reserved.
- Install new stop sign and pole per City of Blaine Standards and Specifications.
- Reserved.
- Transformer pad location. Refer to electrical plans for details.
- Install 8' tall black vinyl coated chain link fence with privacy slats.
- Install bollard per Detail C7.2/2.
- Install access gate to truck equipment parking and storage area. Refer to Architectural.
- Metal stairs, railing, and landing. Refer to Architectural.
- Block retaining wall, refer to Grading Plan.
- Reinstall salvaged road sign. Follow all City of Blaine Standards and Specifications.
- Install 8' tall privacy fence along north side of storage area. Fence type shall be approved by the city.

ZONING AND SETBACK SUMMARY

The Property is Zoned L-1A Light Industrial

Building Setback Information is as follows:

Front = 40 ft.
Rear = 20 ft.
Side = 15 ft.
Adjacent to Residential = 100 ft.

Parking Setback Information is as follows:

Front = 25 ft.
Rear = 10 ft.
Side = 10 ft.
Adjacent to Residential = 25 ft.

Lot Coverage Information is as follows:

Lot Area Minimum = 43,560 s.f. = 1.0 ac.
Lot Width Minimum = 120 ft.
Total Site Area = 174,240 s.f. = 4.0 ac.

AREA SUMMARY

Existing:				97.4%
PerVIOUS	169,655	s.f.	3.89	ac.
ImperVIOUS	4,584	s.f.	0.11	ac.
Total	174,239	s.f.	4.00	ac.
Proposed:				
PerVIOUS	77,569	s.f.	1.78	ac.
ImperVIOUS	96,677	s.f.	2.22	ac.
Total	174,239	s.f.	4.00	ac.

PARKING SUMMARY

Required Parking:

Warehouse - One Stall per 2,000 s.f. of Building or One Stall per 2 Employees
21,835 s.f. Total
21,835 s.f. / 2,000 s.f. = 11 Stalls

Office - One Stall per 250 s.f. of Building
7,278 s.f. Total
7,278 s.f. / 250 s.f. = 30 Stalls

Total Parking Stalls Required 41 ea.

Provided Parking:

Standard Stalls	(9x20)	43	ea.
Accessible Stalls	(9x20)	4	ea.
Total Parking Stalls Provided		47	ea.

LEGEND

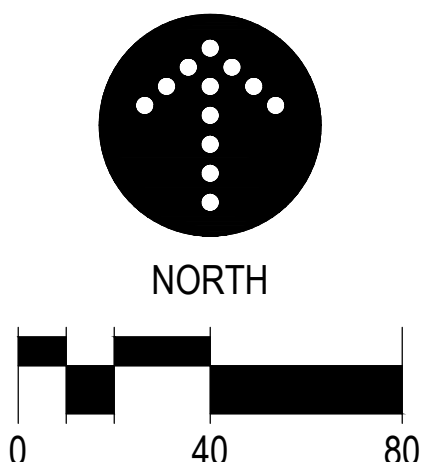
	Green Space (Landscape Area)
	Proposed Wetland Buffer Area

WETLAND BUFFER SUMMARY

- Existing on site wetlands are Manage 2, as classified by the Coon Creek Watershed District.
 - Manage 2 wetlands require a 15 ft. buffer, or equivalent buffer area with a minimum buffer width of 10 ft. and maximum buffer width of 30 ft.

SOUTH WETLAND REQUIRED BUFFER AREA = 2,199 S.F.
SOUTH WETLAND PROVIDED BUFFER AREA = 2,202 S.F.

NORTH WETLAND REQUIRED BUFFER AREA = 3,259 S.F.
NORTH WETLAND PROVIDED BUFFER AREA = 3,259 S.F.



DEVELOPER

RJ RYAN CONSTRUCTION INC.
110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY



PROJECT

XYLITE
BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
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15 JUL 2024	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No: 42016 Date: 07/15/2024

Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

WATERSHED RESUBMITTAL

07/15/2024



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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C201RJ003

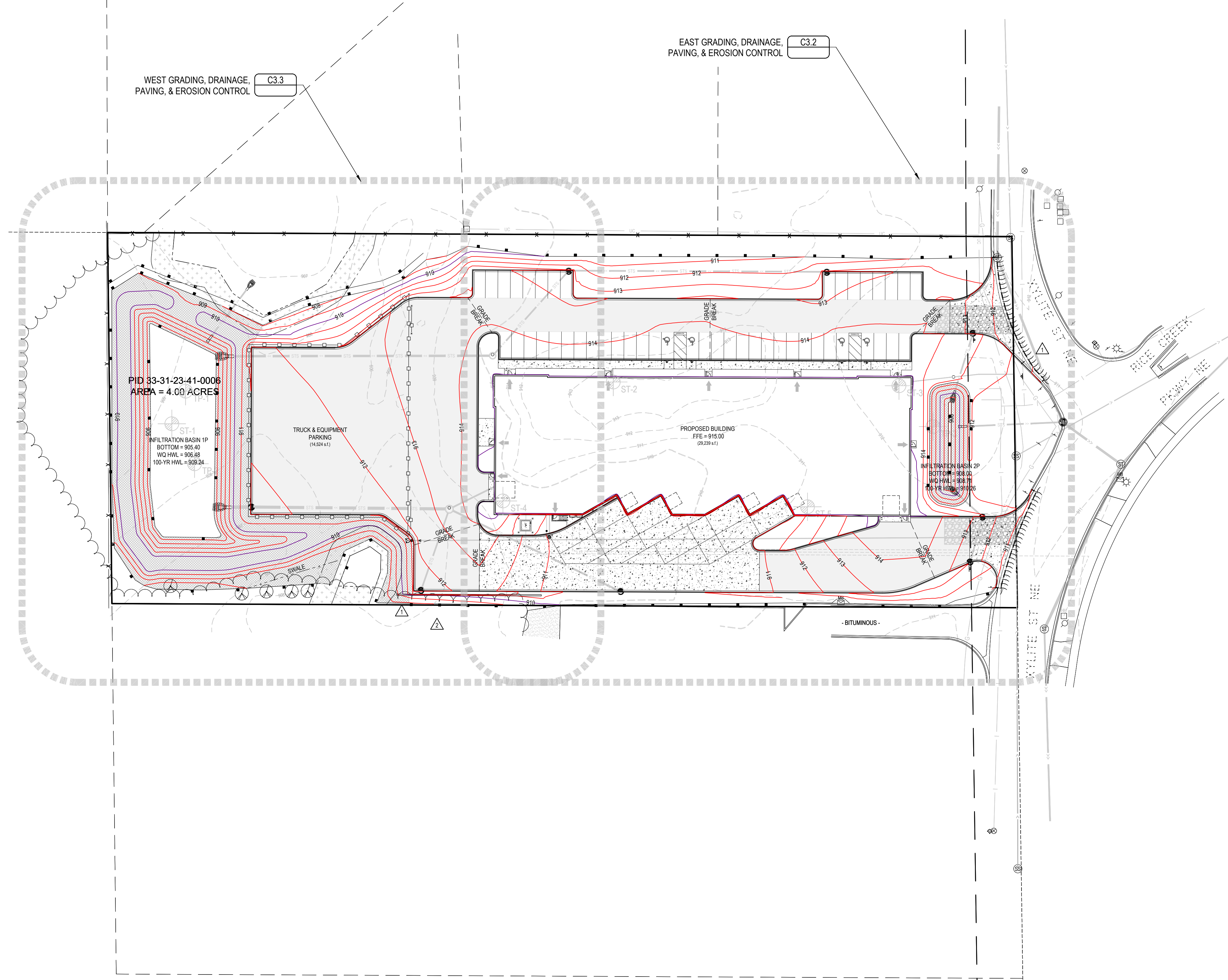
PROJECT NO. RJR23003

SITE PLAN

C2.1

LEGEND		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	9 ea.
	Silt Fence	2,700 ft.
	Compost or Bio Log	200 ft.
	Vehicle Tracking Pad	2 ea.
	Erosion Control Blanket	2,420 s.y.
	Tip Out Curb	
	Pavement Sawcut	

DRY CAST RETAINING WALL NOTES	
44	Dry Cast Concrete Segmental Retaining Wall. Color to be determined by Owner or Architect. Wall shall have a MAXIMUM height of 2.5 feet.
45.	Provide structural design of retaining walls, following MNDOT Retaining Wall specifications for minimum design and performance. Provide construction of walls in accordance with approved design.
46.	Confirm architectural requirements for wall units with owner.
47.	Submit design to City for approval prior to Building Permit issuance.
48.	Provide coordination and assurance that related work constructed within the reinforced earth zone; including fences, underground utilities, guard rails, etc.; is in accordance with approved design and does no damage to reinforcing elements of the retaining wall.



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
- Install inlet protection: Winco RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- Refer to SWPPP Notes on Sheet C3.4 for additional requirements.
- Reserved.
- Contractor shall prevent sediment laden water from entering the infiltration system until the site is completely stabilized.
- Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily ceased and will not resume for 14 calendar days.
- Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be disc mulched.

Item	Specification Number
Soil	MNDOT 3876
Seed	MNDOT 3876
	MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31
	MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31
	MN Type (25-141 @ 55 lbs./ac. for General Roadside) - Permanent Turf
Mulch	MNDOT 3882
	(MNDOT Type 1 @ 2 ton/ac., Disc Anchored)
Erosion Control Blanket	MNDOT 3885; NDDOT xxx.xxx; SDDOT xxx; WISDOT xxx
Fertilizer	(MNDOT Type 3N)
General Placement	MNDOT 3881
	MNDOT 2575
- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.
- Install a double row of silt fence spaced 5' apart around wetlands.
- Reserved.

GRADING NOTES

- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by Braun Intertec, Dated 11/07/23, for additional information on backfill material and groundwater conditions.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
- Refer to Structural Specifications for earthwork requirements for building pads.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Coordinate with Architectural for building stoop locations. Slopes shown on adjacent walks and pavements should continue over stoops.
- Reserved.

INFILTRATION BASIN INFORMATION & TESTING

- Avoid soil compaction of infiltration practices. Any equipment used in infiltration areas should be small scaled and tracked. Install protective fencing as shown after basin is constructed.
- The bottom of surface infiltration basins shall be scarified to a depth of 12" prior to placement of topsoil or planting media. Ensure a minimum of 3-ft. from the bottom of the basin to any seasonally saturated soils.
- DESIGN PERMEABILITY RATES:
Infiltration Basins 1P and 2P were designed with a permeability of 0.45 inches/hour.
- TESTING:
 - Infiltration Basins: At the time of basin excavation, and prior to placement of any material (soil, chambers, etc.), permeability testing shall be performed.
 - Contractor shall contact Landform at 612-252-8070 or engage a qualified testing firm to measure the permeability of the basin surface utilizing a Double Ring Infiltrometer, Modified Philip-Dunn (MPD) Infiltrometer, or other method approved by the Civil Engineer or Geotechnical Engineer. Test results shall be greater than or equal to the following rates to meet long term rates required for design:
Infiltration Basins 1P and 2P need a permeability of 0.9 inches/hour.
 - Contractor to contact the following to schedule testing. Representative staff from each entity may wish to observe the tests. Contact shall be made 72 hours prior to testing.
 - Civil Engineer: Tom Meyer, tmeyer@landform.net, 612-252-9070
Geotechnical Engineer: Joe Westphal, jwestphal@braunintertec.com, 952-995-2238
- RATE OF TESTING: Contractor shall coordinate with the testing firm to provide permeameter tests at the following rates:

Infiltration Basin I.D.	Basin Area (s.f.)	No. of Tests Required
1P	6,619	3
2P	122	1
- Test results shall be provided to the Civil Engineer and Geotechnical Engineer. Infiltration results slower than the design rates may require design modifications. Infiltration rates greater than 8.3 in./hr. may require soil amendments.
- Geotechnical Engineer shall witness infiltration soils. Any confining layer between the basin bottom and static groundwater table shall be removed and replaced with sand soils with less than 7% passing the #20 sieve and compacted to 95% of the standard proctor density.

PAVING NOTES

- Spot Elevations at curblines indicate flowlines unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.
- Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
- Meet and Match existing curb. Transition as needed.
- Paving Sections (Refer to Geotechnical Report by Braun Intertec, Dated 11-07-2023)
 - Bituminous Paving (Light Duty)
 - Bituminous Paving (Heavy Duty)
 - Concrete Walkways
 - 4-inch Concrete Walk, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
 - 4-inch Aggregate Base (MNDOT 3138, CLASS 5)
 - Compacted Subsoil
 - Concrete Drives, Aprons, and Exterior Slabs
 - 5-inch Concrete, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
 - 5-inch Aggregate Base (MNDOT 3138, CLASS 5)
 - Compacted Subsoil
- Concrete Joints:
Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
 - Tooled joints: Divide panels into nominally equal areas unless shown otherwise.
 - Expansion Joints: Sidewalks - 40 feet max.; Curbs - 60 feet max.; Pavement: 80 feet max.; Adjacent to building foundations and stoops
 - Contraction Joints: Sidewalks - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.
- Accessible Parking Stalls and adjacent access aisles shall not exceed a 2.00% slope in any direction.
- Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.
- Adjust all structure rims to match pavement elevations.
- Transition from B612 Curb and Gutter to Ribbon Curb per Detail C7.1/7 Type B. Refer to plan for length.
- Replace existing bituminous pavement in kind.
- Reserved.

DEVELOPER

RJ RYAN CONSTRUCTION INC.
110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY

BLAINE

PROJECT

XYLITE BUILDING
BLAINE, MN

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Tom O. Meyer
License No: 42016 Date: 07/15/2024

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WATERSHED RESUBMITTAL

07/15/2024

LANDFORM

From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME

C301RJR003

PROJECT NO.

RJR23003

OVERALL GRADING, DRAINAGE, PAVING, & EROSION CONTROL

C3.1

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Call before you dig.

NORTH

0 40 80

42 Replace e

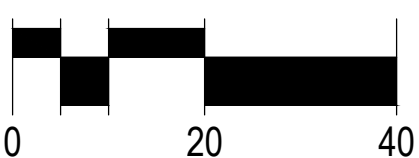
44. Dry Cast Concrete Segmental Retaining Wall. Color to be determined by Owner or Architect. Wall shall have a MAXIMUM height of 2.5 feet.

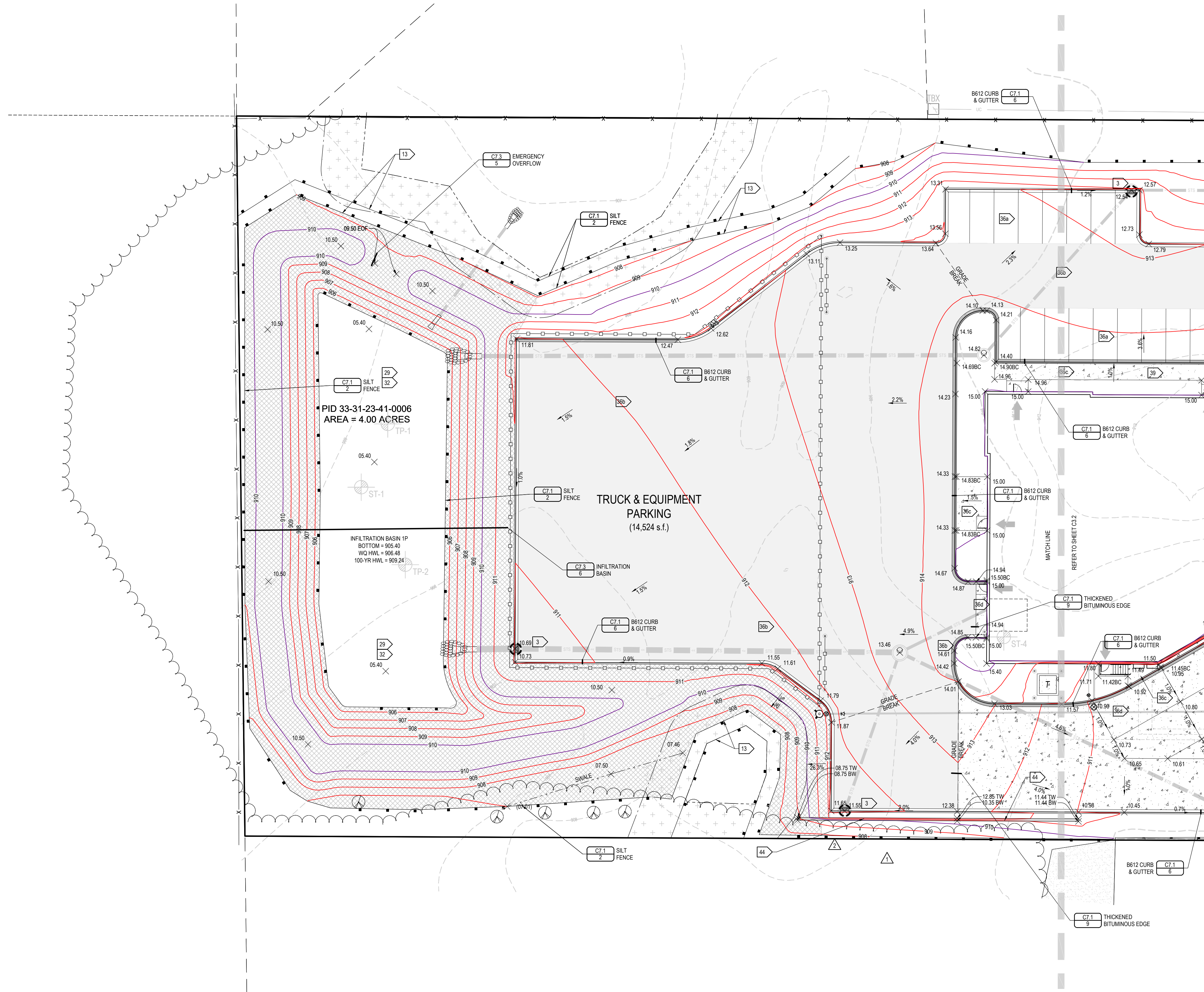
45. Provide structural design of retaining walls, following MNDOT Retaining Wall specifications for minimum design and performance. Provide construction of walls in accordance with approved design.

46. Confirm architectural requirements for wall units with owner.

47. Submit design to City for approval prior to Building Permit issuance.

48. Provide coordination and assurance that related work constructed within the reinforced earth zone; including fences, underground utilities, guard rails, etc; is in accordance with approved design and does no damage to reinforcing elements of the retaining wall.





LEGEND		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	9 ea.
	Silt Fence	2,700 ft.
	Compost or Bio Log	200 ft.
	Vehicle Tracking Pad	2 ea.
	Erosion Control Blanket	2,420 s.y.
	Tip Out Curb	
	Pavement Sawcut	

DRY CAST RETAINING WALL NOTES	
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GENERAL NOTES

1.

For construction staking and surveying services contact Landform at 612.252.9070.

2.

Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.

3

Install inlet protection: Winco RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.

4.

Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.

5.

Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.

6.

Refer to SWPPP Notes on Sheet C3.4 for additional requirements.

7.

Reserved.

8.

Contractor shall prevent sediment laden water from entering the infiltration system until the site is completely stabilized.

9.

Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.

10.

Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be disc mulched.

Item	Specification Number
Sod	MNDOT 3876
Seed	MNDOT 3876
	MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31
	MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31
	MN Type (25-141 @ 55 lbs./ac. for General Roadside) - Permanent Turf
Mulch	MNDOT 3882
	(MNDOT Type 1 @ 2 ton/ac., Disc Anchored)
Erosion Control Blanket	MNDOT 3885; NDDOT xxx.xxx; SDDOT xxx; WISDOT xxx
Fertilizer	(MNDOT Type 3N)
General Placement	MNDOT 3881
	MNDOT 2575

11.

See Landscape Sheets for permanent turf and landscape establishment.

12.

Scrape adjacent streets clean daily and sweep clean weekly.

13

Install a double row of silt fence spaced 5' apart around wetlands.

14.

Reserved.

GRADING NOTES

15.

Contact utility service providers for field location of services 72 hours prior to beginning grading.

16.

Refer to the Geotechnical Report prepared by Braun Intertec, Dated 11/07/23, for additional information on backfill material and groundwater conditions.

17.

Remove topsoil from grading areas and stockpile sufficient quantity for reuse.

18.

Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.

19.

Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).

20.

Refer to Structural Specifications for earthwork requirements for building pads.

21.

An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.

22.

Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.

23.

Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).

24.

Coordinate with Architectural for building stoop locations. Slopes shown on adjacent walks and pavements should continue over stoops.

25.

Reserved.

INFILTRATION BASIN INFORMATION & TESTING

26.

Avoid soil compaction of infiltration practices. Any equipment used in infiltration areas should be small scaled and tracked. Install protective fencing as shown after basin is constructed.

27.

The bottom of surface infiltration basins shall be scarified to a depth of 12" prior to placement of topsoil or planting media. Ensure a minimum of 3-ft. from the bottom of the basin to any seasonally saturated soils.

28.

DESIGN PERMEABILITY RATES:
Infiltration Basins 1P and 2P were designed with a permeability of 0.45 inches/hour.

29

TESTING:

a.

Infiltration Basins: At the time of basin excavation, and prior to placement of any material (soil, chambers, etc.), permeability testing shall be performed.

b.

Contractor shall contact Landform at 612-252-9070 or engage a qualified testing firm to measure the permeability of the basin surface utilizing a Double Ring Infiltrometer, Modified Philip-Dum (MPDI) Infiltrometer, or other method approved by the Civil Engineer or Geotechnical Engineer. Test results shall be greater than or equal to the following rates to meet long term rates required for design:
Infiltration Basins 1P and 2P need a permeability of 0.9 inches/hour.

c.

Contractor to contact the following to schedule testing. Representative staff from each entity may wish to observe the tests. Contact shall be made 72 hours prior to testing.

d.

Civil Engineer: Tom Meyer, tmeyer@landform.net, 612-252-9070
Geotechnical Engineer: Joe Westphal, jwestphal@braunintertec.com, 952-995-2238

30.

RATE OF TESTING: Contractor shall coordinate with the testing firm to provide permeameter tests at the following rates:

Infiltration Basin I.D.	Basin Area (s.f.)	No. of Tests Required
1P	6,619	3
2P	122	1

31.

Test results shall be provided to the Civil Engineer and Geotechnical Engineer. Infiltration results slower than the design rates may require design modifications. Infiltration rates greater than 8.3 in./hr. may require soil amendments.

32

Geotechnical Engineer shall witness infiltration soils. Any confining layer between the basin bottom and static groundwater table shall be removed and replaced with sand soils with less than 7% passing the #20 sieve and compacted to 95% of the standard proctor density.

PAVING NOTES

33.

Spot Elevations at curblines indicate flowlines unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.

34.

Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.

35

Meet and Match existing curb. Transition as needed.

36

Paving Sections (Refer to Geotechnical Report by Braun Intertec, Dated 11-07-2023)

a.

Bituminous Paving (Light Duty)

b.

Bituminous Paving (Heavy Duty)

c.

Concrete Walkways

4-inch Concrete Walk, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)

4-inch Aggregate Base (MNDOT 313B, CLASS 5)

Compacted Subsoil

d.

Concrete Drives, Aprons, and Exterior Slabs

5-inch Concrete, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)

8-inch Aggregate Base (MNDOT 313B, CLASS 5)

Compacted Subsoil

37.

Concrete Joints

Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints.

Joint spacing shall be as follows:

a.

Tooled joints: Divide panels into nominally equal areas unless shown otherwise.

b.

Expansion Joints: Sidewalks - 40 feet max.; Curbs - 60 feet max.; Pavement: 80 feet max.; Adjacent to building foundations and stoops

c.

Contraction Joints: Sidewalks - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.

38

Accessible Parking Stalls and adjacent access aisles shall not exceed a 2.00% slope in any direction.

39

Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.

40.

Adjust all structure rims to match pavement elevations.

41

Transition from B612 Curb and Gutter to Ribbon Curb per Detail C7.1/TYP B. Refer to plan for length.

42

Replace existing bituminous pavement in kind.

43.

Reserved.

DEVELOPER

RJ RYAN CONSTRUCTION INC.

110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY

BLAINE

PROJECT

XYLITE BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 DEC 2023	CLIENT REVIEW SET	TOM
24 JAN 2024	PRICING SET	CNC
13 FEB 2024	UPDATED PRICING SET	TOM
26 FEB 2024	PERMIT SET	TOM
27 MAR 2024	RESPONSE TO CITY COMMENTS	TOM
29 MAY 2024	CITY COMMENTS	TOM
29 MAY 2024	WATERSHED SUBMITTAL	TOM
15 JUL 2024	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No: 42016 Date: 07/15/2024

Signatures shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

WATERSHED RESUBMITTAL

07/15/2024

LANDFORM

From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME

C301RJR003

PROJECT NO.

RJR23003

WEST GRADING, DRAINAGE,
PAVING, & EROSION CONTROL

C3.3

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NPDES PERMIT AND SWPPP COMPONENTS

1. The current Minnesota Construction Stormwater General Permit (Permit) dated August 1, 2018 is referenced in this document as the Permit.
- The SWPPP includes the following components:
- Construction Documents prepared by Landform
 - Stormwater Management Plan prepared by Landform
 - Maintenance Plan for permanent stormwater BMPs
 - Geotechnical Report prepared by Braun Intertec
- All components must be kept onsite, or electronically available onsite, by the Operator during regular work hours. The Operator shall contact Civil Engineer if they do not have all of the above documents.

SITE INFORMATION

Site location: Latitude: 45.131336, Longitude: -93.205555

Total Site Area = 4.00 ac.
Pre-construction impervious area within property = 0.11 ac.
Post-construction impervious area within property = 2.22 ac.
Net change in impervious area within property = 2.11 ac.

Type of stormwater management:

- Infiltration

Erosion prevention and sediment control quantities are on sheets C3.1 - C3.3.

SITE EVALUATION / ASSESSMENT / PLANNING

1. The Operator shall have primary responsibility and significant authority for the development, implementation, maintenance, inspection and amendments to the approved SWPPP. Duties include but are not limited to:
- Ensuring full compliance with the SWPPP and the Permit
 - Implementing all elements of the SWPPP, including but not limited to:
 - Implementing prompt and effective erosion and sediment control measures
 - Implementing all non-storm water management, and good housekeeping BMPs ensuring that no materials other than Storm water are discharged in quantities, which will have an adverse effect on receiving waters or storm drain systems, etc.
 - Conducting routine inspections and maintenance
 - Ensuring elimination of all unauthorized discharges
 - Coordinating to ensure all of the necessary corrections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

1. Operator must develop pollution prevention management measures, implement good housekeeping BMPs, must follow all applicable federal, state, and local building codes, Occupational Safety and Health Act (OSHA), and the general conditions and general requirements of the construction contract.
2. The Operator shall minimize the exposure to stormwater of any of the products, material, or wastes stored on site that may wash downstream or contaminate stormwater.
3. Building products that have the potential to leach pollutants must be under cover.
4. Chemicals and landscape materials shall be under cover to prevent the discharge of pollutants.
5. Operator to track progress of the following items on site maps: portable toilets, material storage areas, vehicle and equipment fueling and maintenance areas, concrete washouts, paint and slucso washouts, dumpsters or other trash and debris containers, spill kits, stockpiles, any other non-structural non-storm water management BMPs, any temporarily removed structural BMPs, any changes to the structural BMPs.
6. Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
7. Hazardous waste: oil, gasoline, paint and any hazardous substances must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or materials must be in compliance with Minn. R. Ch. 7045 including secondary containment as applicable.
8. Portable toilets must be positioned so that they are secure and will not be tipped or knocked over.
9. Concrete and other washout waste: operator must provide effective containment for all liquid and solid wastes generated by washout operations. The liquid and solid wastes must not contact the ground, and the containment must be designed so that it does not result in runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.
10. External vehicle washing: external washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed on site.
11. Operator shall take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where they will be loaded or unloaded as detailed in the Permit.

SWPPP CONTACT AND TRAINING INFORMATION

1. Owner:
- Slinson Electric
750 4th Street NW,
New Brighton, MN 55418
612-788-0244
2. Operator:
- To Be Determined. Contact Owner until Contractor Is Selected.
3. Long Term Maintenance And Operation:
- To Be Determined. Contact Owner until Contractor Is Selected.
4. SWPPP Designer:
- Tom Meyer, P.E.
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612-252-9070
tmeyer@landform.net
Certification: U of MN, Design of Construction SWPPP, Exp. May 31, 2025
5. SWPPP Inspector / Manager:
- To Be Determined. Contact Owner until Contractor And SWPPP Inspector / Manager is selected.
6. BMP Installation And Repair:
- To Be Determined. Contact Owner until BMP Installer And Maintainer is selected.

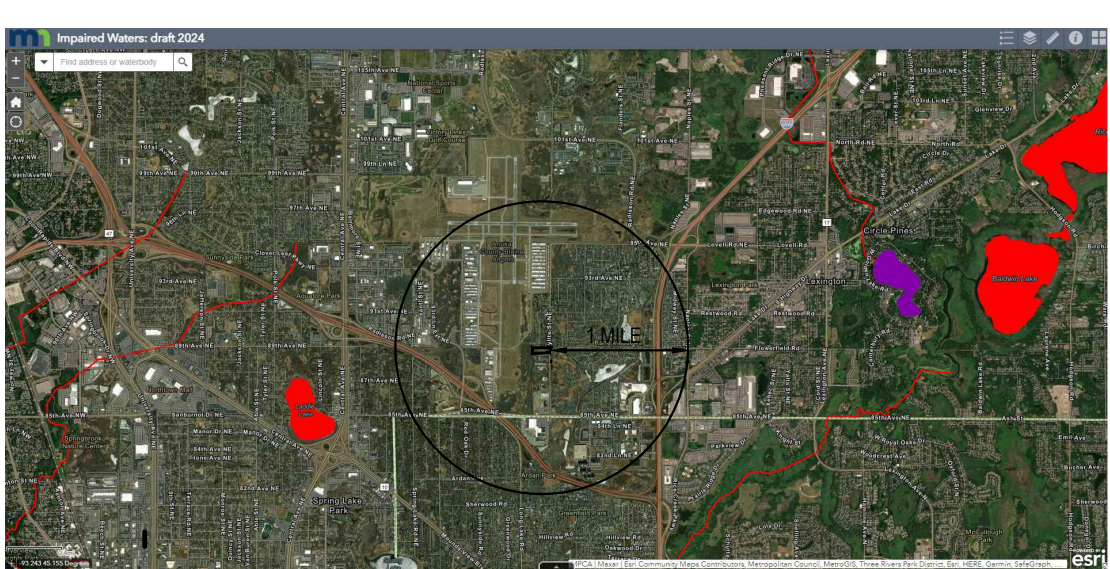
DESCRIPTION OF CONSTRUCTION ACTIVITY

1. Construction activity includes erosion and sediment control BMPs installation, site grading, utility installation, building construction, paving, and landscaping.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

1. Install perimeter sediment control BMPs prior to start of other site work. Refer to Grading, Drainage, Paving and Erosion Control sheet(s) for initial locations of BMPs.
2. Protect infiltration areas with construction fencing. Install fencing prior to site grading or within 24-hours of excavating an infiltration basin.
3. Perform work in phases to minimize disturbed area at any one time. Operator to develop phasing plan prior to start of work. Open work areas should be limited to those that can be managed and inspected within required time frames.
4. Strip topsoil from areas to be disturbed and stockpile with perimeter sediment control BMPs. Provide stabilization if stockpile is left longer than 14 days.
5. Rough grade site.
6. Install utilities.
7. Install small utilities (gas, electric, communications).
8. Final grade pavement areas and compact subgrade.
9. Lay down pavement aggregate and compact.
10. Install curb and gutter. Backfill after a minimum of three days and provide a minimum of two rolls of sod at the back of curb.
11. Construct building and site features.
12. Construct site walks.
13. Provide final stabilization.
14. Connect infiltration practices to storm sewer inlets.
15. Remove temporary BMPs and dispose of property.

WATERS WITHIN ONE MILE OF SITE



STORMWATER POLLUTION MITIGATION MEASURES

1. Required stormwater mitigation measures to meet the final environmental review document are:
- Permittees must immediately initiate stabilization of exposed soil areas and complete stabilization within seven (7) calendar days after the construction activity in that portion of the site temporarily or permanently ceases.

MN SPECIAL (PROHIBITED, RESTRICTED, OTHER) & IMPAIRED WATERS

1. There are no Special or Impaired Waters within one (1) mile of the site.

DRINKING WATER SUPPLY MANAGEMENT AREA

1. The site is not within a Drinking Water Supply Management Area (DWSMA).

EROSION PREVENTION AND SEDIMENT CONTROL

1. See Grading, Drainage, Paving and Erosion Control sheets for the location and type of temporary erosion prevention and sediment control BMPs. See Grading and Drainage, Utility, and Landscape sheets for the location and type of permanent erosion prevention and sediment control BMPs.
2. Minimize Disturbed Areas and Protect Natural Features and Soil
- Appropriate construction practices (e.g. construction phasing, vegetative buffer strips, horizontal slope grading) shall be used to minimize erosion.
- Areas not to be disturbed (buffers, infiltration basins, etc.) shall be protected with construction or silt fence before work begins.
- Operator shall develop methods to minimize soil compaction outside of building pads, pavement areas and utility trenches and shall use tracked equipment wherever practicable.
- Topsoil shall be salvaged and reused to the extent practicable.
3. Phase Construction Activity
- Operator must not disturb more land than can be effectively inspected and maintained.
- Sediment control practices shall be established on all down gradient perimeters before any upgradient land disturbing activities begin. These practices shall remain in place until final stabilization has been established in accordance with the Permit.
- The timing of the installation of sediment control practices may be adjusted to accommodate short-term activities such as clearing or grubbing, or passage of vehicles. Any short-term activity must be completed as quickly as possible and the sediment control practices shall be installed immediately after the activity is completed. However, sediment control practices shall be installed before the next precipitation event even if the activity is not complete.
4. Control Stormwater Flowing onto and Through the Project
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, shall be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water.
- Stabilization of the last 200 lineal feet shall be completed within 24 hours after connecting to a surface water.
- Stabilization of the remaining portions of any temporary or permanent ditches or swales shall be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Temporary or permanent ditches or swales that are being used as a sediment containment system (with properly designed rock ditch checks, bio rolls, silt dikes etc.) do not need to be stabilized. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.
5. Stabilize Soils
- All exposed soil areas, including stockpiles, must be stabilized.
- Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days. Stabilization must be complete within 14 days of cessation of construction activity.
- Temporary soil stockpiles shall have silt fence or other effective sediment controls, and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.
- Temporary stockpiles without significant silt, clay or organic components (e.g. clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces, are exempt from this requirement.
- Perimeter sediment control measures must be in place prior to the placement of any stockpiles.
- Any erosion control netting shall be "wildlife friendly" and of a natural type that can decompose and shall have non-welded moveable joints.
- Any sediment control device made of soil must be stabilized within 24 hours.

6. Protect Slopes
- Operator shall avoid work on slopes with a grade of 3:1 or greater when practicable. Grading on slopes with a grade of 3:1 or steeper will require techniques such as phasing and stabilization practices designed for steep slopes (e.g. slope draining and tentacing).
7. Protect Storm Drain Inlets
- All storm drain inlets shall be protected by appropriate BMPs during construction until all sources with potential for discharging to the inlet have been stabilized. Inlet protection may be temporarily removed if a specific safety concern has been identified.
8. Provide Energy Dissipation at all Pipe Outlets within 24 Hours
- After connection to a surface water or permanent stormwater treatment system.
9. Establish Perimeter Controls and Sediment Barriers
- Prior to disturbing soils on a project site, establish sediment control BMPs on all down-gradient perimeters and where site discharges to public waters.
10. Retain Sediment On-site and Control Dewatering Practices
- Discharge shall not cause nuisance conditions, erosion in receiving channels, adversely affect receiving water or impact wetlands, or downstream properties. Discharge points shall be adequately protected from erosion and scour by accepted energy dissipation measures.
- Discharge water containing oil or grease shall be treated to remove oil or grease prior to discharge to surface waters.
- Refer to Permit requirements for temporary or permanent sediment basins.
- Discharge shall be photographed at the beginning of discharge and at least every 24 hours afterward, while discharge is occurring.
- If nuisance conditions result from dewatering, dewatering shall be stopped until nuisance condition can be remedied.
11. Establish Stabilized Construction Exits
- Vehicle tracking pads shall be established as shown on the Grading, Drainage, Paving and Erosion Control sheet(s) to minimize tracking of sediment from the construction site onto adjacent streets.
12. Infiltration Basin Protection
- Operator must not excavate infiltration systems to final grade or within three (3) feet of final grade until the contributing drainage area has been constructed and fully stabilized unless rigorous erosion prevention and sediment controls have been installed.
- When excavating an infiltration system to within three (3) feet of final grade, operator shall mark off and protect the area from heavy construction equipment to prevent compaction of soils.
13. Dewatering and Basin Draining
- Permittees must discharge turbid or sediment-laden waters related to dewatering or basin draining to a temporary or permanent sediment basin. Discharges must not cause erosion or scour near the discharge points.
14. Remove Sediment from Surface Waters
- All sediment deposits and deltas must be removed from surface waters, including drainage ways, catch basins, and other drainage systems, and the removal areas restabilized within seven (7) days.

RECORD KEEPING / RECORD RETENTION

1. The SWPPP (original or copies), including all changes to it, and inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on site vehicle during normal working hours.
2. All Owners(s) must keep the SWPPP, along with the following additional records, on file for three (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
3. The following is a list of records that shall be kept at the project site available for inspectors to review:
- Copy of the SWPPP, with any modifications;
 - Inspection and maintenance records;
 - Permanent operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - Records of all inspection and maintenance conducted during construction; and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

1. The Owner / Operator(s) must amend the SWPPP within seven (7) days to include additional requirements, such as additional or modified BMPs, designs to correct problems identified during inspections, or address situations as detailed in the Permit.

FINAL STABILIZATION

1. The Owner / Operator(s) must ensure final stabilization of the site. Final stabilization includes:
- Ensuring all areas have permanent cover.
 - Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

1. Owner / Operator(s) wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the MPCA. Compliance with the Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
- Site must have achieved final stabilization (refer to section above).
 - The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
 - All temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.
- 50 foot buffers from surface waters are impossible to maintain due to site layout constraints. Therefore, double silt fence was been shown around the perimeters of the wetlands.

TEMPORARY SEDIMENTATION BASIN(S)

1. This project does not have more than five (5) disturbed acres draining to a common location and the site does not drain to an impaired or special water, therefore a temporary sediment basin is not required.
2. Temporary sediment basins shall provide treatment to runoff before it leaves the construction site or enters surface waters. The contractor shall comply with the following requirements:
- Sedimentation basins must provide live storage of runoff resulting from the 2-year 24-hour rainfall event from each acre drained to the basin, with a minimum of 1,800 c.f.f/acre live storage volume. (Where no calculation has been performed, each basin shall provide at least 3,600 c.f.f/acre live storage.) Sedimentation basins must include a stabilized emergency overflow to prevent basin integrity failure.
 - Discharge from temporary sedimentation basins will be withdrawn from the surface in order to minimize the discharge of pollutants.
3. Discharge from basin draining shall not adversely affect the receiving water or downstream properties. Contractor will visually check to ensure adequate treatment has been obtained and that nuisance conditions will not result from the discharge.
4. Any discharge observed to be occurring during the inspection shall be recorded, described, and photographed.
5. If any proposed temporary BMPs are not working as intended refer to the "Stormwater Compliance Assistance Toolkit for Small Construction Operators", MPCA, 2017 for additional information. Operator shall contact the SWPPP Designer for additional requirements and information.

POST CONSTRUCTION / PERMANENT BMPS

1. See Grading and Drainage, Utility, and Landscape sheets for post construction and permanent stormwater BMPS.

INSPECTIONS AND MAINTENANCE

1. Permittees must ensure that a trained person will inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5-inches in 24 hours.
2. Records of inspections shall include all maintenance activities and must be recorded within 24 hours of the inspection and retained with the SWPPP.
3. Inspections shall include stabilized areas, erosion prevention and sediment control BMPs, and infiltration areas. Additionally, areas adjacent to the project shall be inspected.
4. Surface waters on or adjacent to the site must be inspected for evidence of erosion or sediment deposition.
5. Permittees must record all inspection and maintenance activities within 24 hours of being conducted as detailed in the Permit.
- Inspection Records content shall include:
- Date and time of inspections;
 - Name of persons conducting inspections;
 - Findings of inspections, including specific locations where corrective actions are needed;
 - Corrective actions taken including dates, times, and the party taking the corrective action;
 - Dates of all rainfall events greater than 1/2 inch in 24 hours (refer to Permit for measurement requirements);
 - Any discovered discharge must be recorded, including photographs, descriptions of discharge (color, odor, settled or suspended solids, oil sheen, or other obvious indicators of pollution), and specific location of discharge location;
 - Any amendments to the Permit as a result of inspections must be documented within seven calendar days as described in the Permit
 - All photographs of dewatering activities and documentation of nuisance conditions resulting from dewatering.
6. BMP Maintenance:
- Nonfunctional BMPs must be repaired or replaced by the end of the next business day after discovery unless a different time frame is indicated.
 - Follow the designer's or manufacturer's recommended maintenance procedures for all BMPs.
 - Remove sediment from BMPs when the depth of sediment has reached 1/2 the height of the BMP and properly dispose of sediment into controlled areas to prevent soil from returning to the BMP during subsequent rain events.
 - Remove sediment from paved roadways within one calendar day of discovery.
 - Remove sediment from around BMPs protecting storm drain inlets.
 - Surface waters with evidence of sediment deposition must be stabilized and sediment removed within seven calendar days of discovery, or as stated by the Permit.
 - Ensure that construction support activities, including borrow areas, waste areas, contractor work areas, and material storage areas and dedicated concrete and asphalt batch plants are cleaned and maintained.
 - Replace damaged BMPs that no longer operate effectively.
7. Add BMPs as needed during construction to minimize erosion and prevent sediment from leaving the site. Any basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.
8. Any temporary or permanent sediment basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.

RECORD KEEPING / RECORD RETENTION

1. The SWPPP (original or copies), including all changes to it, and inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on site vehicle during normal working hours.
2. All Owners(s) must keep the SWPPP, along with the following additional records, on file for three (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
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 - Permanent operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - Records of all inspection and maintenance conducted during construction; and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

1. The Owner / Operator(s) must amend the SWPPP within seven (7) days to include additional requirements, such as additional or modified BMPs, designs to correct problems identified during inspections, or address situations as detailed in the Permit.

FINAL STABILIZATION

1. The Owner / Operator(s) must ensure final stabilization of the site. Final stabilization includes:
- Ensuring all areas have permanent cover.
 - Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

1. Owner / Operator(s) wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the MPCA. Compliance with the Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
- Site must have achieved final stabilization (refer to section above).
 - The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
 - All temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.

DEVELOPER

RJ RYAN CONSTRUCTION INC.
110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY



PROJECT

XYLITE
BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY			
DATE	ISSUE / REVISION	REVIEW	
22 DEC 2023	CLIENT REVIEW SET	TOM	
24 JAN 2024	PROJING SET	CNC	
13 FEB 2024	UPDATED PROJING SET	TOM	
26 FEB 2024	PERMIT SET	TOM	
27 MAR 2024	RESPONSE TO CITY COMMENTS	TOM	
15 MAY 2024	CITY COMMENTS	TOM	
15 JUL 2024	WATERSHED SUBMITTAL	TOM	
15 JUL 2024	WATERSHED RESUBMITTAL	TOM	

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom Meyer

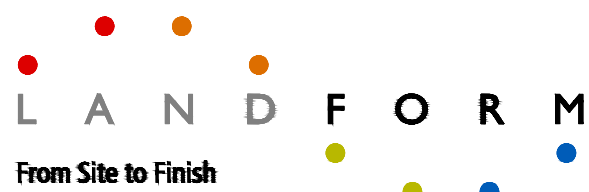
Tom O. Meyer
License No: 42016 Date: 07/15/2024

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WATERSHED RESUBMITTAL

07/15/2024



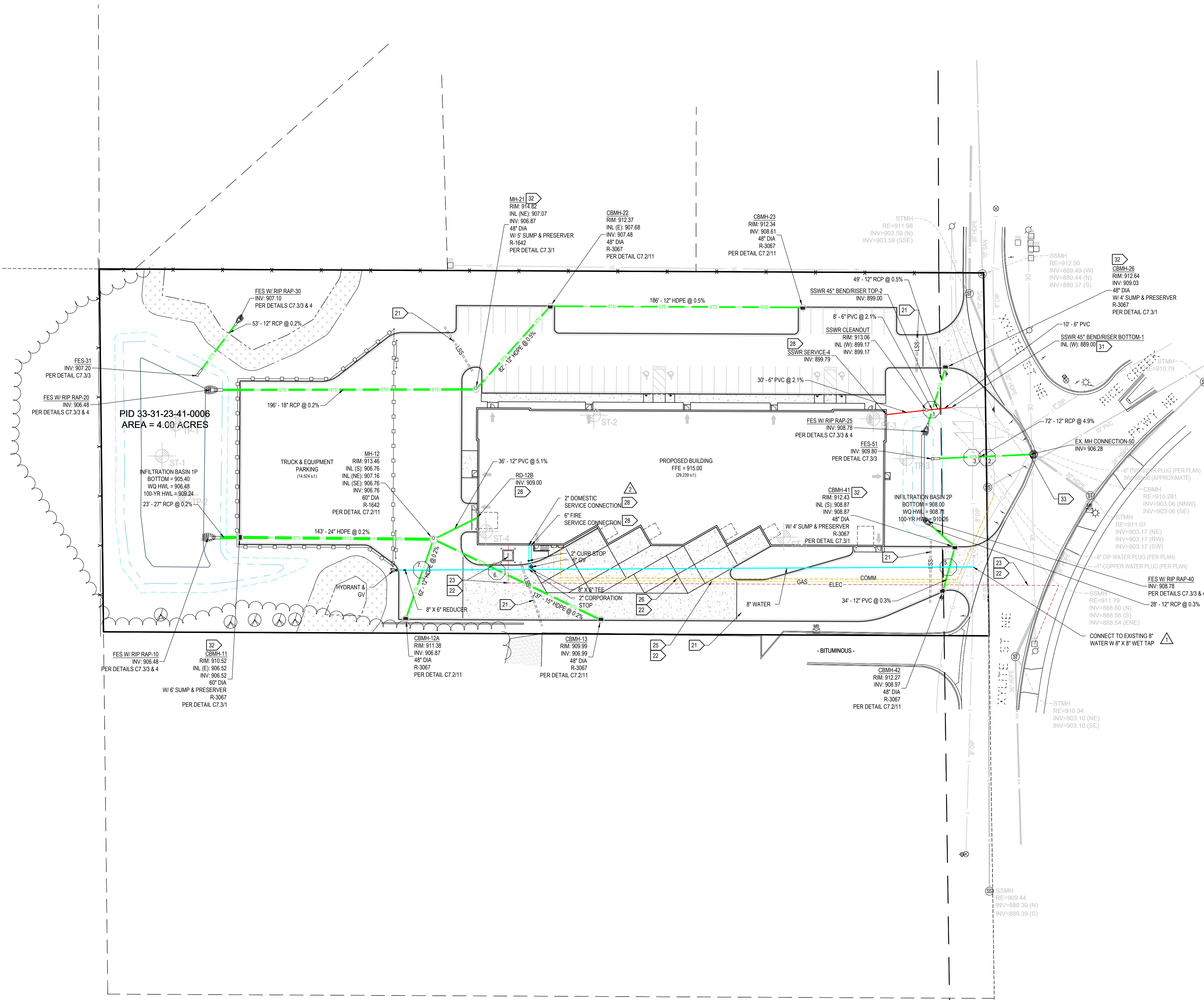
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C304RJR003

PROJECT NO. RJR23003

SWPPP NOTES

C3.4



GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

UTILITY NOTES

2. Pipe Materials
- | | |
|------------------------|---|
| Fire Service | C900 PVC |
| Water Service | Copper Type K (ASTM B88) |
| Private Sanitary Sewer | PVC Schedule 40 (ASTM: D1785, D2665, F891, F1488 & F1760) |
| Storm Sewer | PVC Schedule 40 (ASTM: D1785, D2665, F891, F1488 & F1760) |
| | RCP 12"-18" Class 5 (ASTM C76) |
| | RCP 21" Class 4 (ASTM C76) |
| | RCP 24"-48" Class 3 (ASTM C76) |
| | HDPE - Corrugated, Smooth Interior, Water Tight (ASTM D3350, ASTM D4976, ASTM F2306, AASHTO M252) |
3. Contact utility service providers for field location of services 72 hours prior to beginning.
4. Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
5. Contractor to pothole all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
6. Provide means and measures to protect adjacent property from damage during utility installation.
7. Pipe lengths shown are from center of structure to center of structure or end of end section.
8. Install tracer wire with all non-conductive utilities in accordance with City of Blaine Standards.
9. Connect to City Utilities in accordance with City of Blaine Standards.
10. Contact City of Blaine Public Works Department for wet tap inspection.
11. Maintain 7.5 feet of cover on water.
12. Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
13. Contact City of Blaine Public Works Department for flushing and pressure test inspections.
14. The water distribution system shall be disinfected per Minnesota Rules, Part 4714.
15. Reserved.
16. Reserved.
17. All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
18. All joints and connections in the storm sewer system shall be gasketed or water tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
19. Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 10 on Sheet C7.2.
20. Reserved.
21. Irrigation sleeve to be 4 inch Schedule 80 PVC buried 24" below grade. Extend sleeves 3-feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with irrigation contractor.)
22. Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
23. The primary electric feed, transformer, and meter are provided and installed by Connexus Energy. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and conduits shall be installed by the Electrical Contractor.
24. See site lighting plan for additional information.
25. CenterPoint Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
26. Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
27. Provide conduits for cable television and other electronic communication.
28. Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
29. Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
30. Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.
31. Connect to existing sanitary sewer stub with sanitary sewer riser per Detail C7.3/7. Install cleanout structure per Detail C7.2/9 at top of riser. Contractor shall field verify existing invert.
32. All sump structures shall be installed with Momentum Environmental Preservers. Only the energy dissipater device is required. Refer to Detail C7.3/2.
33. Core drill existing structure for proposed pipe connection. Connection shall be water-tight.
34. Reserved.
35. Refer to the C3.1-C3.3 sheet notes for requirements.

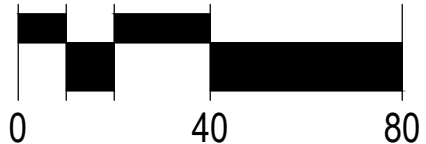
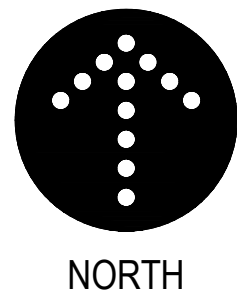
INFILTRATION BASIN REQUIREMENTS

UTILITY CROSSINGS

- | | |
|---|---|
| 1. Crossing 1
Storm Sewer Bottom=908.70
Sanitary Sewer Top=899.60
Clearance = 9.10' | 6. Crossing 6
Storm Sewer Bottom=906.79
Watermain Top=904.45
Clearance = 2.34' |
| 2. Crossing 2
Storm Sewer Bottom=907.66
Sanitary Sewer Top=889.57
Clearance = 18.09' | 7. Crossing 7
Storm Sewer Bottom=906.98
Watermain Top=905.01
Clearance = 1.97' |
| 3. Crossing 3
Storm Sewer Bottom=908.13
Watermain Top=900.00
Clearance = 8.13' | |
| 4. Crossing 4
Storm Sewer Bottom=908.84
Watermain Top=905.19
Clearance = 3.65' | |
| 5. Crossing 5
Storm Sewer Bottom=908.85
Watermain Top=905.21
Clearance = 3.64' | |



Know what's Below.
Call before you dig.



DEVELOPER

RJ RYAN CONSTRUCTION INC.
110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY



PROJECT

XYLITE
BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 DEC 2023	CLIENT REVIEW SET	TOM
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13 MAY 2024	CITY COMMENTS	TOM
15 JUL 2024	WATERSHED SUBMITTAL	TOM
	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
Tom O. Meyer
License No: 42016 Date: 07/15/2024

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WATERSHED RESUBMITTAL

07/15/2024

LANDFORM
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FILE NAME C401RJR003

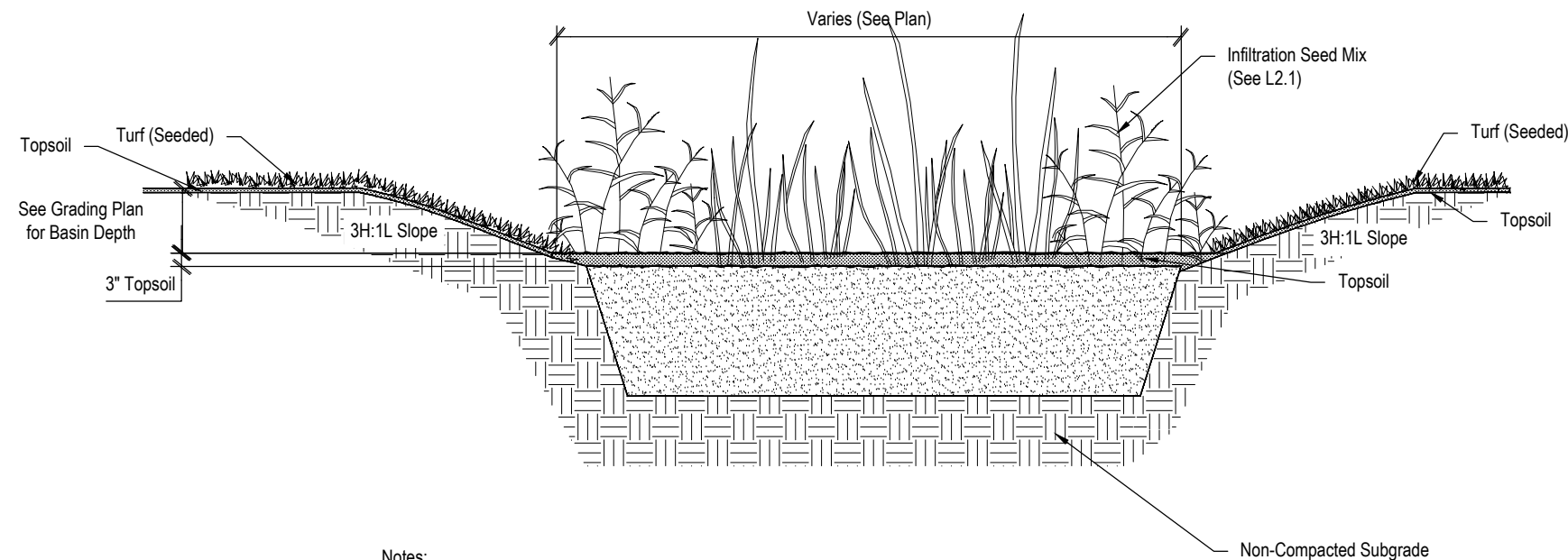
PROJECT NO. RJR23003

UTILITIES

C4.1

- SUGGESTED CONSTRUCTION SEQUENCING
1. Install appropriate temporary erosion control devices to prevent sediment from leaving or entering the practice during construction.
 2. All down-gradient perimeter sediment control bmp's must be in place before any up gradient land disturbing activity begins.
 3. Perform continuous inspections of erosion control practices, especially after each rainfall event.
 4. Install all utilities (water, sanitary sewer, electric, natural gas, phone, fiber optic, etc) prior to setting final grade of bioretention device.
 5. Rough grade the site. If bioretention areas are being used as temporary sediment basins during construction, leave a minimum of 1 foot of cover over the practice to protect the underlying soils from clogging.
 6. Complete, stabilize, and vegetate all other site improvements.
 7. Construct and vegetate bioretention device following stabilization of contributing drainage area. Ensure that critical elevations, such as underdrain invert, top of media, top of mulch, and invert of overflow structure (if present) are correct.
 8. Remove temporary erosion control devices after the contributing drainage area is adequately vegetated/stabilized.

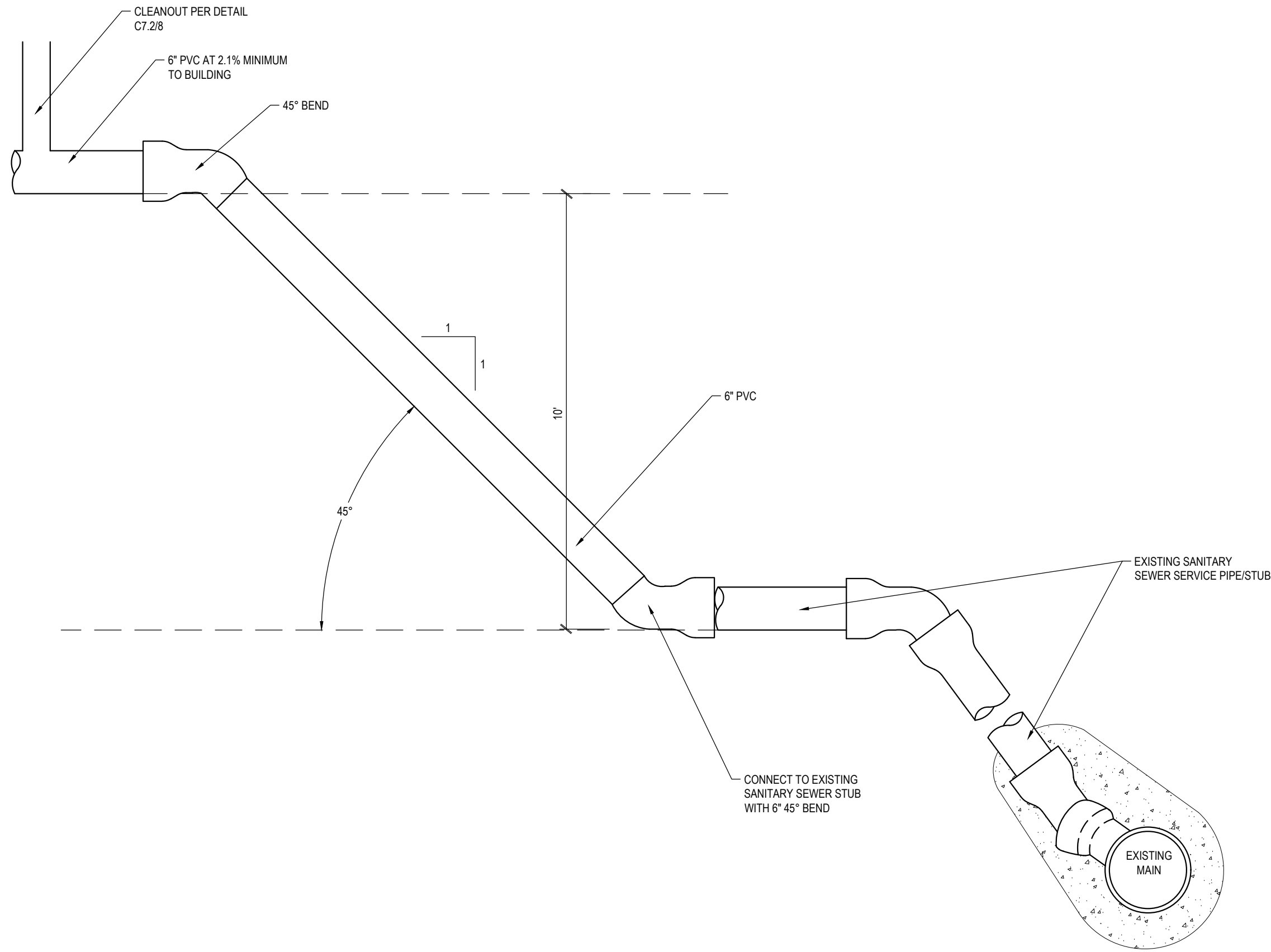
- GENERAL NOTES
1. In the event that sediment is introduced into the bmp during or immediately following excavation, this material shall be removed from the practice prior to continuing construction.
 2. See Minnesota Stormwater Manual for subgrade preparation.



- Notes:
1. Refer to sheet L2.1 for seed mixes.
 2. Ensure a minimum of 3-ft. separation from bottom of basin to any seasonally saturated soils.
 3. Geotechnical Engineer shall witness infiltration soils. Any confining layer between the basin bottom and static groundwater table shall be removed and replaced with sand soils with less than 7% passing the #20 sieve and compacted to 95% of the standard proctor density.

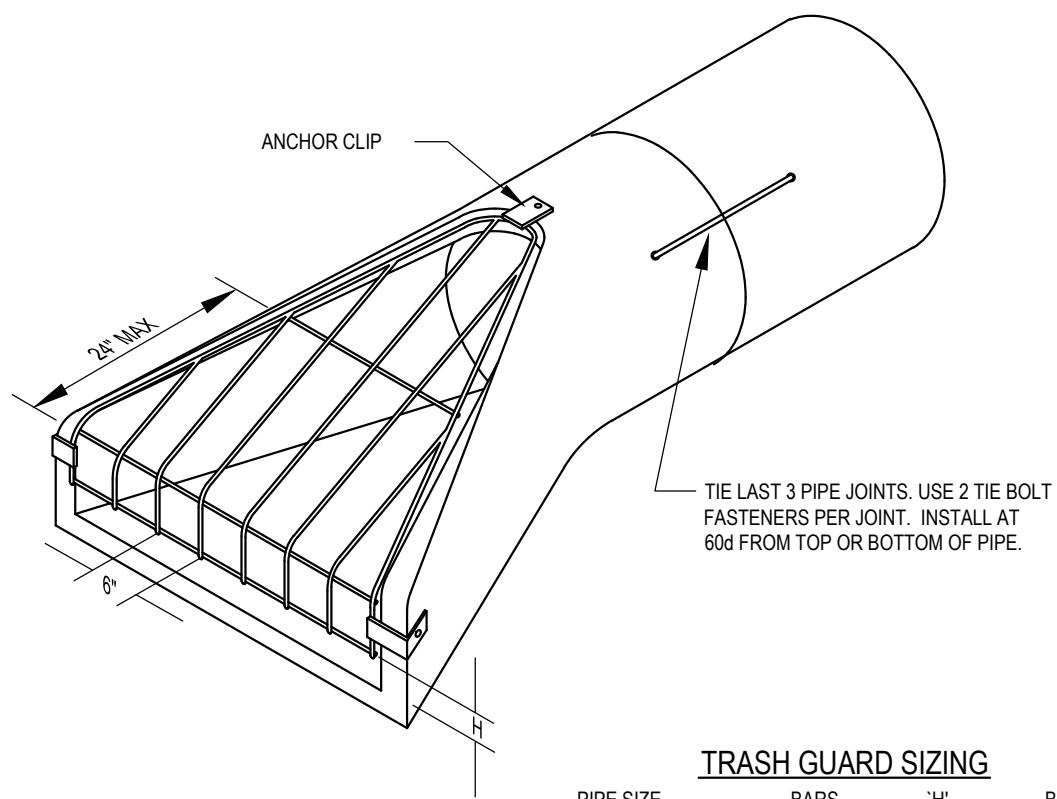
INFILTRATION BASIN CROSS-SECTION

NO SCALE



SANITARY SEWER VERTICAL RISER

NO SCALE



ISOMETRIC

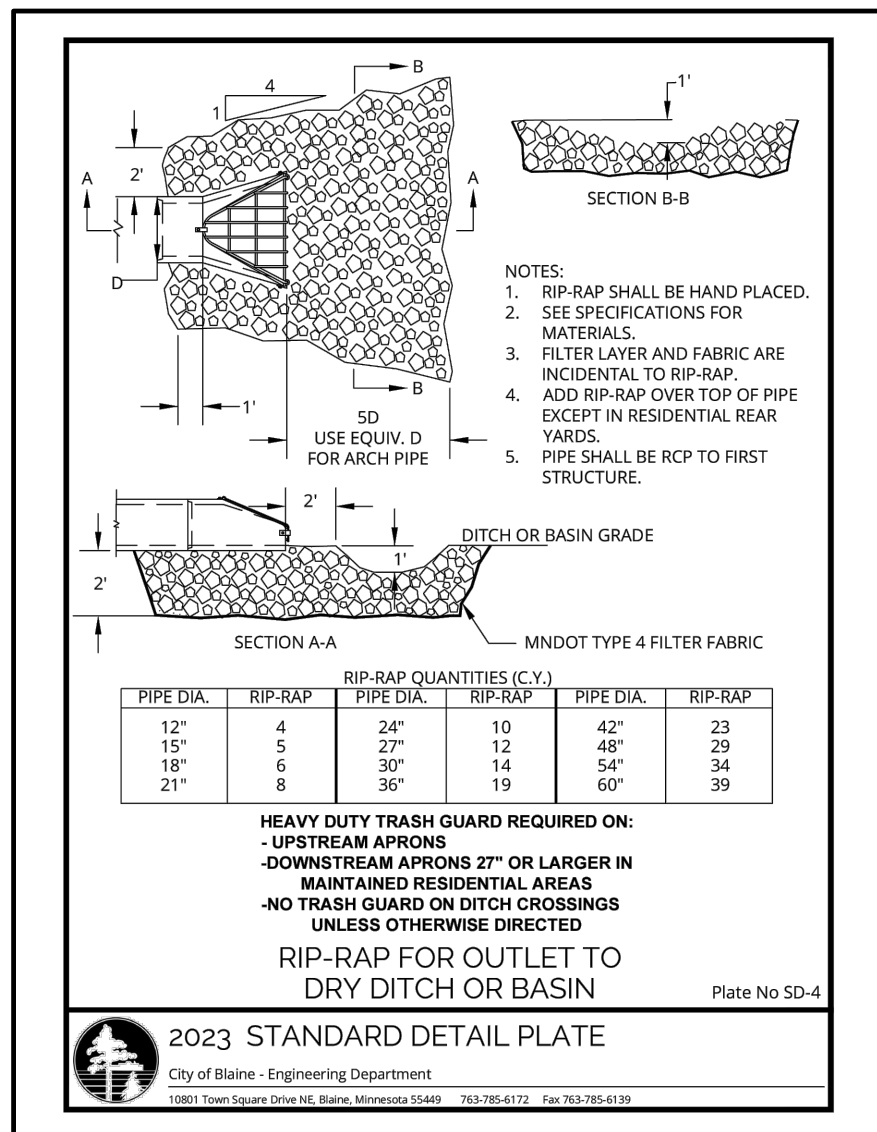
PROVIDE 3 ANCHOR CLIPS TO FASTEN TRASH GUARD TO FLARED END SECTION. HOT DIP GALVANIZE AFTER FABRICATION.

TRASH GUARD SIZING

PIPE SIZE	BAR	W	BOLTS
12"	3/4"x10"	2 1/2"	5/8"
15"	3/4"x10"	3"	5/8"
18"	3/4"x10"	4"	5/8"
21"x24"	1"x10"	4"	3/4"
27"x36"	1"x10"	5"	3/4"
42"	1"x10"	6"	3/4"
48"x54"	1 1/4"x10"	6"	1"
60"x72"	1 1/4"x10"	7"	1"
78"x90"	1 1/4"x10"	8"	1"

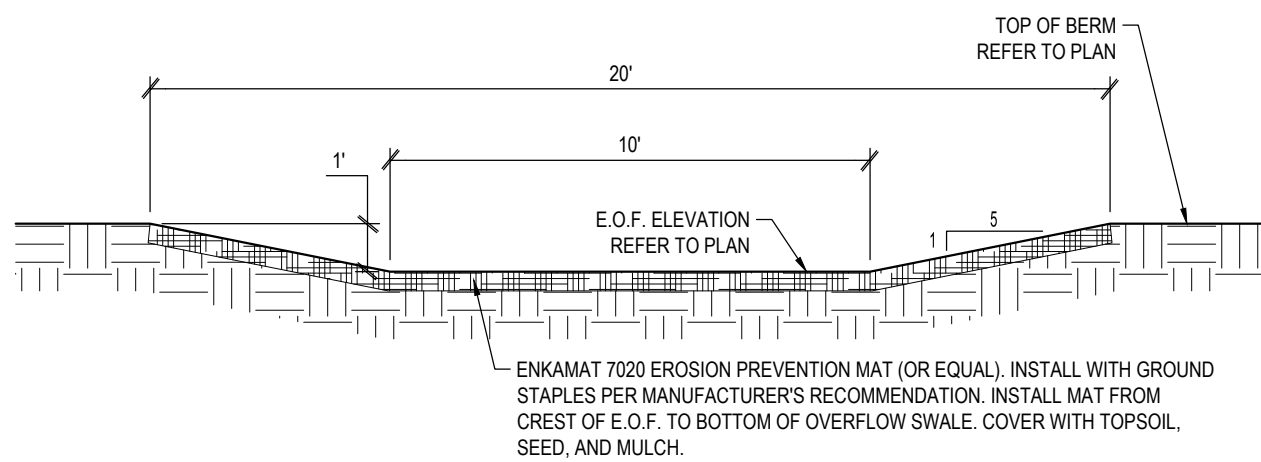
FLARED END SECTION AND TRASH GUARD

NO SCALE



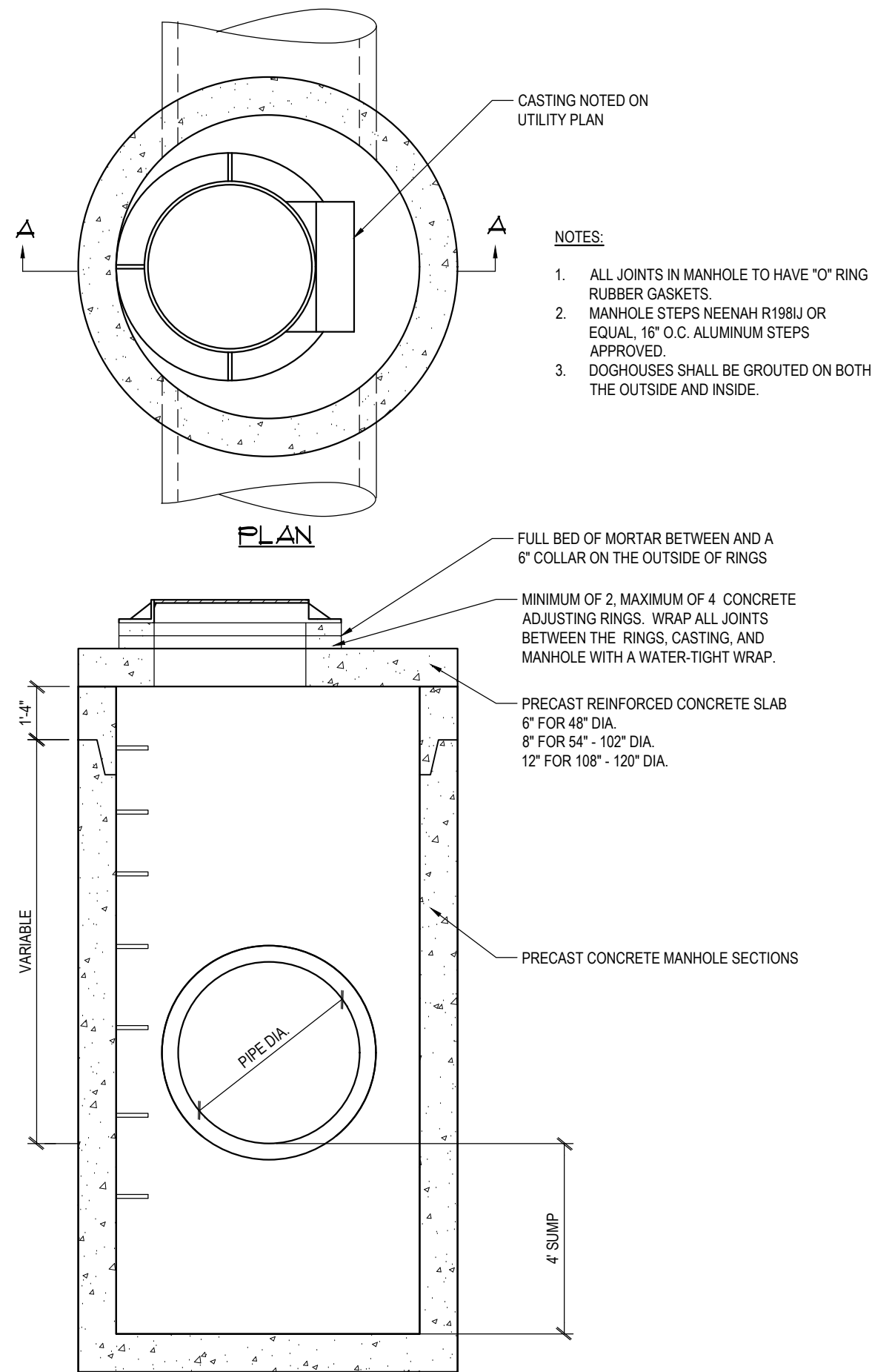
RIP-RAP AT FLARED END

NO SCALE



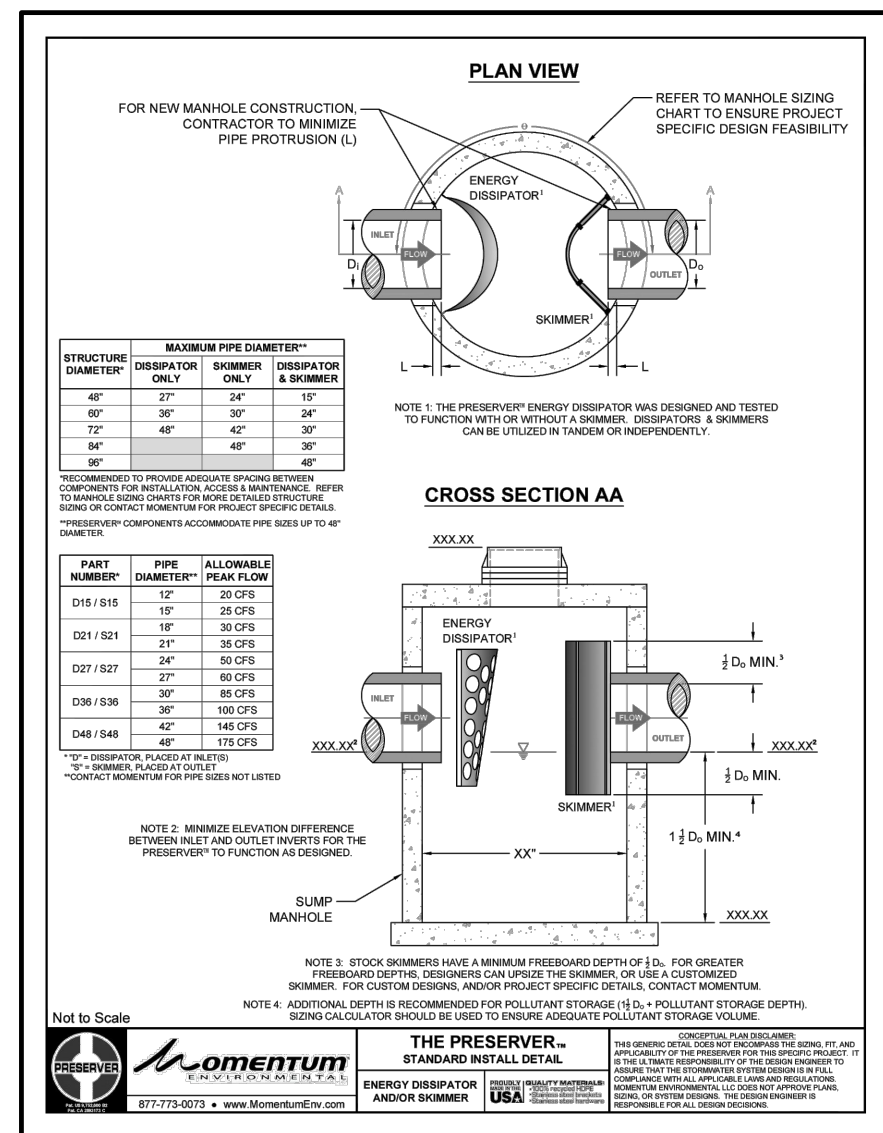
POND EMERGENCY OVERFLOW

NO SCALE



SUMP STORM SEWER CATCH BASIN MANHOLE

NO SCALE



PRESERVER ENERGY DISSIPATER & SKIMMER DEVICES

NO SCALE

DEVELOPER

RJ RYAN CONSTRUCTION INC.

110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY



PROJECT

XYLITE
BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 DEC 2023	CLIENT REVIEW SET	TOM
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20 MAY 2024	WATERSHED SUBMITTAL	TOM
15 JUL 2024	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

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07/15/2024

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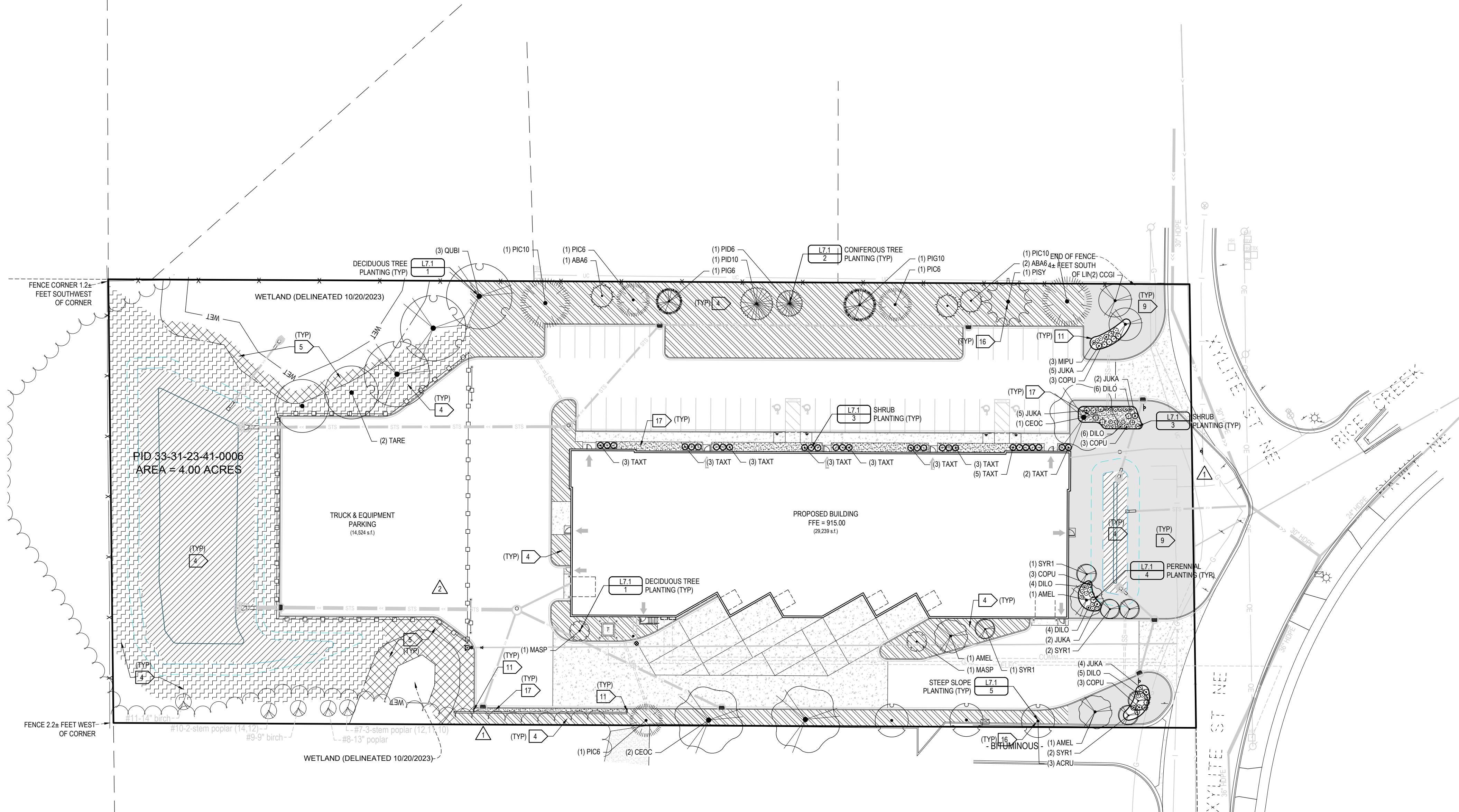
FILE NAME C701RJR003

PROJECT NO. RJR23003

CIVIL CONSTRUCTION DETAILS

C7.3

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PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT CONDITION	ORNAMENTAL TREES		
DECIDUOUS TREES									
	ACRU	3	Acer rubrum 'Autumn Spire' / Autumn Spire Maple	50'H x 25'W	2.5" Cal.	B & B	AMEL	3	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry 20'H x 25'W 1.5"Cal POT
	CEOC	3	Celtis occidentalis / Common Hackberry	50'H x 50'W	2.5"Cal	B & B	CCGI	2	Crataegus crus-galli 'Inermis' / Thornless Hawthorn 25'H x 25'W 1.5"Cal POT
	QUBI	3	Quercus bicolor / Swamp White Oak	55'H x 55'W	2.5"Cal	B & B	MASP	2	Malus x 'Spring Snow' / Spring Snow Crab Apple 25'H x 20'W 1.5"Cal POT
	TARE	2	Tilia americana 'Redmond' / Redmond American Linden	60'H x 40'W	2.5"Cal	B & B	SYR1	6	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac 25'H x 20'W 1.5"Cal POT
EVERGREEN TREES							SHRUBS		
	ABA6	3	Abies concolor / White Fir	40'H x 20'W	6" HT.	B & B	COPU	12	Cornus pumila / Dwarf Red Tipped Dogwood 4'H x 4'W 3' HEIGHT POT
	PIC10	2	Picea abies / Norway Spruce	50'H x 30'W	10' HT.	B & B	DILO	25	Diervilla lonicera / Dwarf Bush Honeysuckle 4'H x 3'W #3 Cont. POT
	PIC6	3	Picea abies / Norway Spruce	50'H x 30'W	6" HT.	B & B	JUKA	18	Juniperus x pfitzeriana 'Kallay's Compact' / Kallay's Compact Juniper 3'H x 5'W 3 GAL. POT
	PIG10	1	Picea glauca / White Spruce	50'H x 20'W	10' HT.	B & B	TAXT	28	Taxus x media 'Tauntonii' / Tauton Yew 4'H x 5'W 3' HEIGHT POT
	PIG6	1	Picea glauca / White Spruce	50'H x 20'W	6" HT.	B & B	GRASSES		
	PID10	1	Picea glauca 'Densata' / Black Hills Spruce	45'H x 20'W	10' HT.	B & B	MIPU	3	Miscanthus purpurascens / Silver Grass 5'H x 3'W 2 GAL. POT
	PID6	1	Picea glauca 'Densata' / Black Hills Spruce	45'H x 20'W	6" HT.	B & B			
	PISY	1	Pinus sylvestris / Scotch Pine	45'H x 35'W	8" HT	B & B			

LEGEND			
	Sod area		Seed mix Stormwater South and West (MNDOT 33-261) Seed at rate of 35.0 lbs/acre.
	Rock mulch		Seed mix Dry Prairie General (MNDOT 35-221) Seed at rate of 36.5 lbs/acre.
			Seed mix Mesic General Roadside (MNDOT 25-141) Seed at rate of 59.0 lbs/acre.
			Seed mix Low Diversity Buffer General (BWSR 32-242A) Seed at rate of 39.3 lbs/acre.

- GENERAL NOTES
1. For construction Staking and Surveying services contact Landform at 612.252.9070.
- LANDSCAPE NOTES
2. Contact Utility Service providers for field location of services 72 hours prior to beginning.
3. Coordinate installation with Contractors performing related work.
4. Seed mixes Stormwater South and West (MNDOT 33-261), Mesic General Roadside (MNDOT 25-141) and Dry Prairie General (MNDOT 35-221) as defined in current MNDOT Seeding Manual. Native Seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association (MCIA). Provide verifying documentation to the Owner 30 days minimum prior to installation.
5. Seed mix Low Diversity Buffer General (BWSR 32-242A) as defined in the current BWSR Seeding Manual. Native Seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association (MCIA). Provide verifying documentation to the Owner 30 days minimum prior to installation.
6. Plant material shall conform to the American Association of Nurserymen Standards and be of hardy stock, free from disease, infestation, damage, and disfigurement.
7. All existing deciduous/coniferous trees are to be trimmed of dead wood and pruned to a natural uniform shape.
8. Planting soil shall consist of 4 parts topsoil to 1 part peat humus, with 3 pounds of commercial fertilizer added per cubic yard.
9. Spread a minimum of 4 inches of topsoil and sod all turf areas disturbed by Construction.
10. Follow MNDOT Seeding Manual for planting instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.
11. Edge planting beds with 6-inch Black Vinyl Edging (Black Diamond or approved equal) except where adjacent to curbing, walks or buildings.
12. Place plants according to layout with proper nominal spacing. For discrepancy between the number of plants on the Schedule and the number shown on the Drawing, the Drawing shall govern.
13. See Details for depth of planting soil.
14. Reserved.
15. Reserved.
16. Install a 4-foot diameter triple-shredded hardwood mulch dish around trees not placed within a Shrub or Perennial Planting Bed. Edging is not required, unless noted otherwise.
17. Install 2 to 3 inch (nominal size) grey trap rock to a depth of 4 inches in all planting beds unless noted otherwise. Landscape fabric shall be installed under all areas of rock mulch. Secure all edges and seams of fabric with 6-inch landscape staples.
18. Irrigation is required. Irrigation shall be designed by irrigation contractor. Contractor shall submit design plan and all shop drawings and system components to Landscape Architect for review, prior to purchase and installation. Contractor shall follow all applicable codes and obtain all necessary permits from local jurisdiction.
19. All plant material shall have a 1-year warranty. The warranty shall begin after the last plant has been installed and the Landscape Architect has approved the installation. Landscape contractor is responsible for replacing any and all plant material that dies during the warranty period. Landscape contractor shall assume all costs to any replacements. All replacements shall be same species and sizes and equal or better vigor as original installation.

CITY REQUIREMENTS			
City of Blaine, MN, City Code (33.07)			
Deciduous trees (1) per 2,000 s.f. bldg footprint (1) per 100 l.f. site perimeter	Required (greater of) 14.5 18.4	Proposed*	16 (11 proposed + 5 preserved)
Coniferous trees (1) per 2,000 s.f. bldg footprint (1) per 200 l.f. site perimeter	14.5 9.2	13	
Ornamental trees (1) per 2,000 s.f. bldg footprint (1) per 200 l.f. site perimeter	14.5 9.2	13	
Shrubs (1) per 300 s.f. bldg footprint (1) per 30 l.f. site perimeter	97 61.3	83	
* 15% reduction in required quantities is allowed in I-1 Zoning per City Code			

DEVELOPER

RJ RYAN CONSTRUCTION INC.

110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
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MUNICIPALITY

BLAINE

PROJECT

XYLITE BUILDING
BLAINE, MN

ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY		
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	WATERSHED RESUBMITTAL	TOM

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

Joshua K. Pogehn
License No. 45503
Date: 07/15/2024

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07/15/2024

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Minneapolis, MN 55401

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Fax: 612-252-9077
Web: landform.net

FILE NAME L201RJ003.DWG

PROJECT NO. L201RJ003

LANDSCAPE PLAN

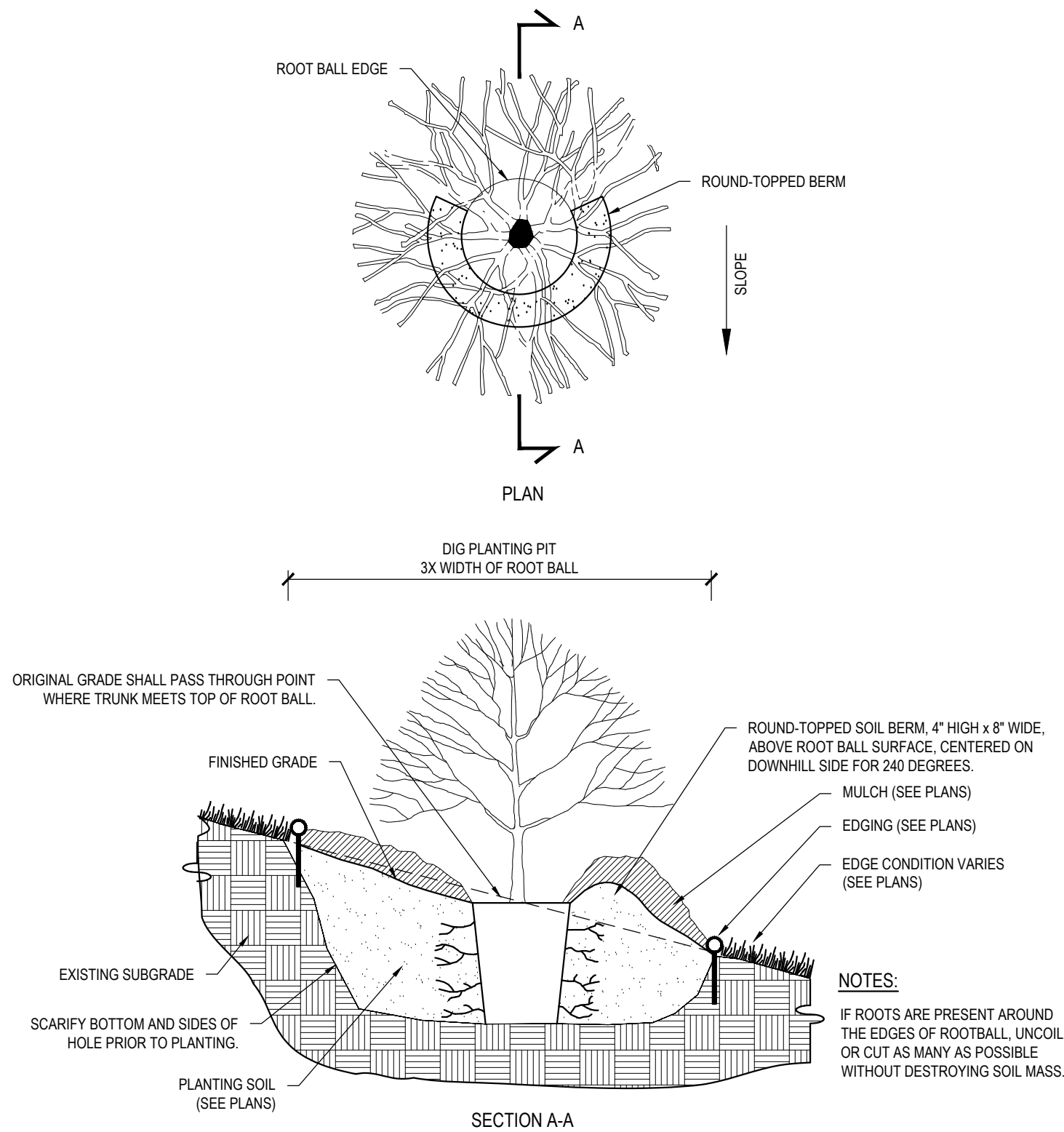
L2.1

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5

STEEP SLOPE PLANTING

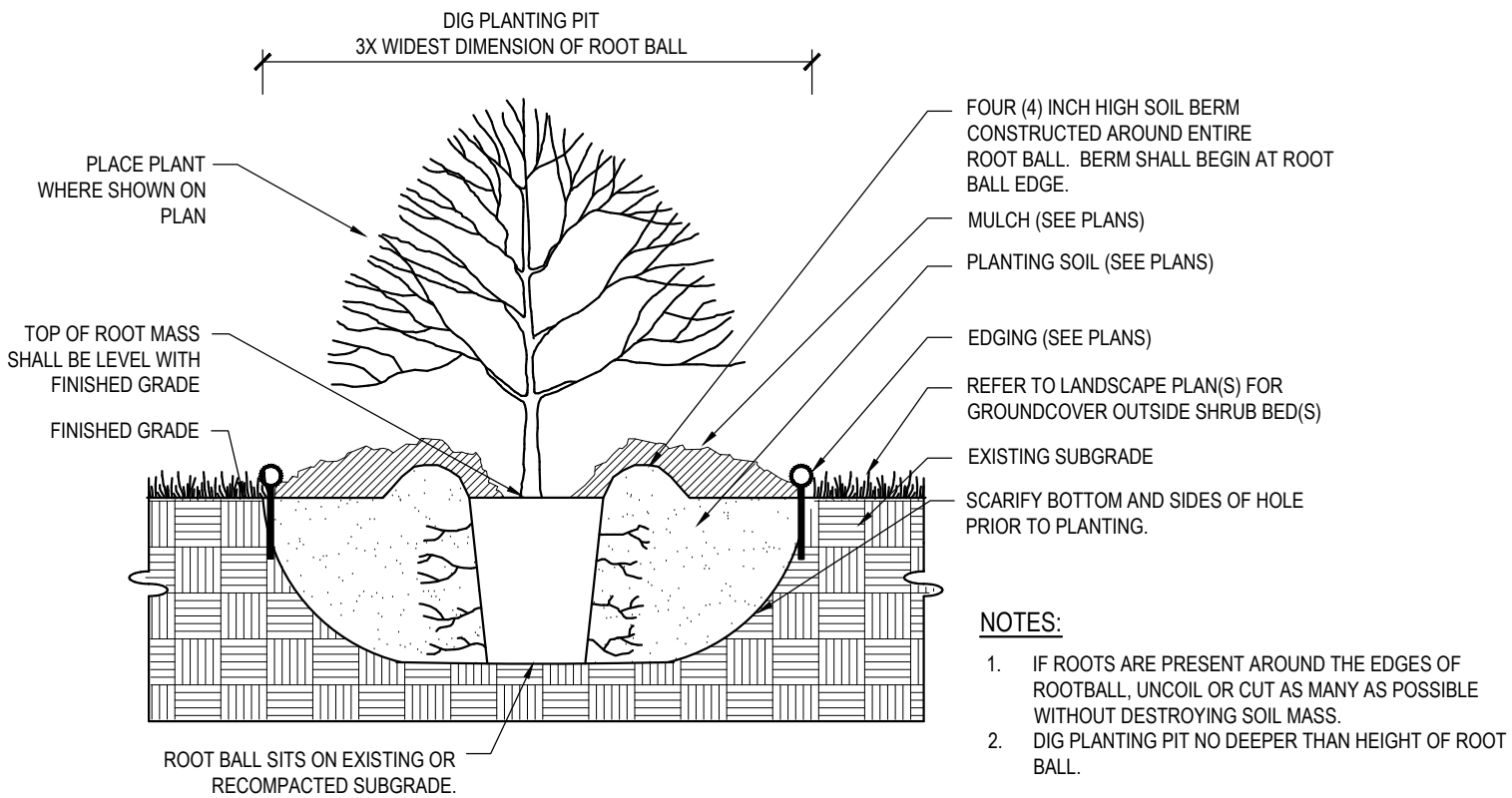
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3

SHRUB PLANTING

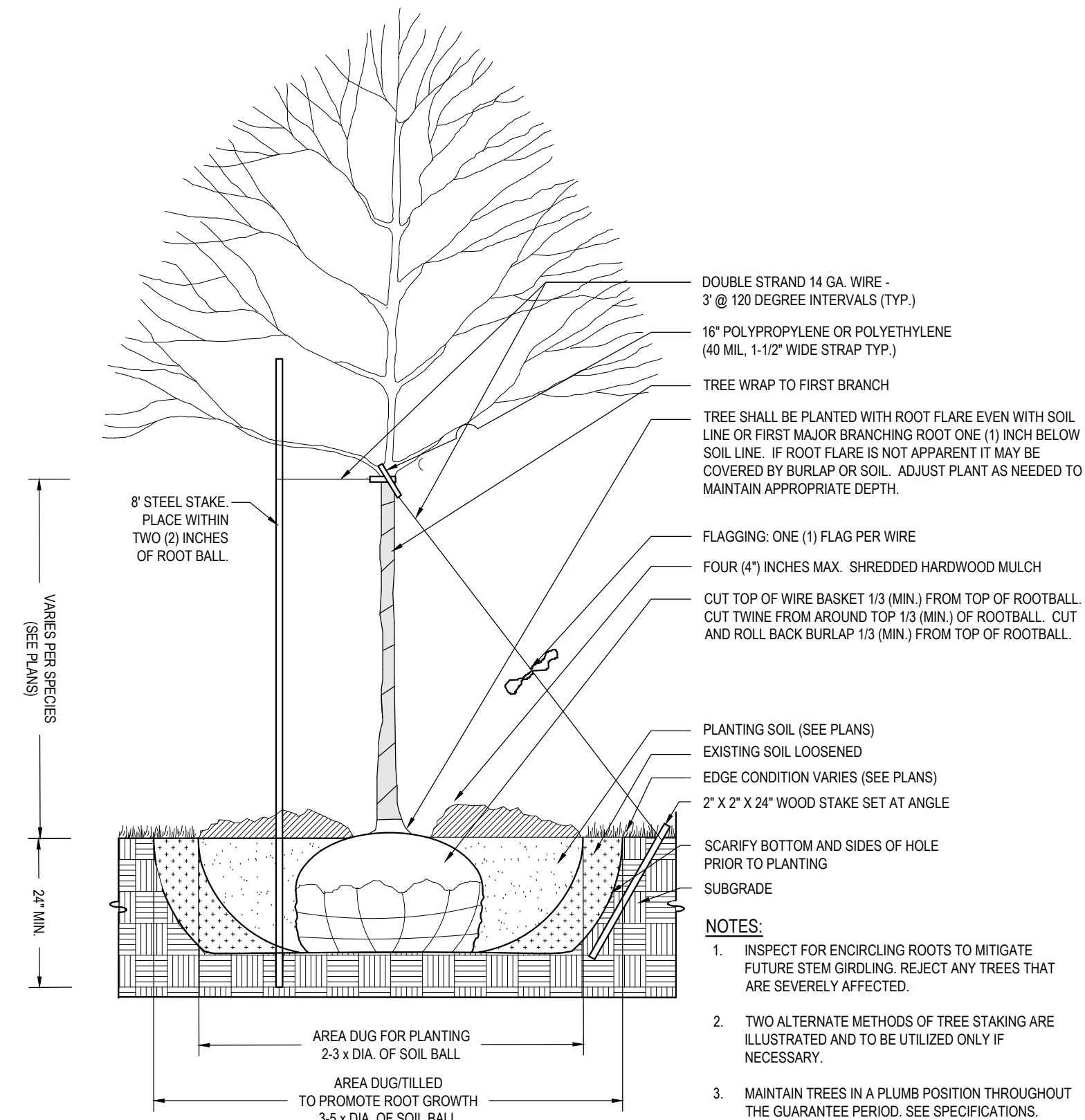
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1

DECIDUOUS TREE PLANTING

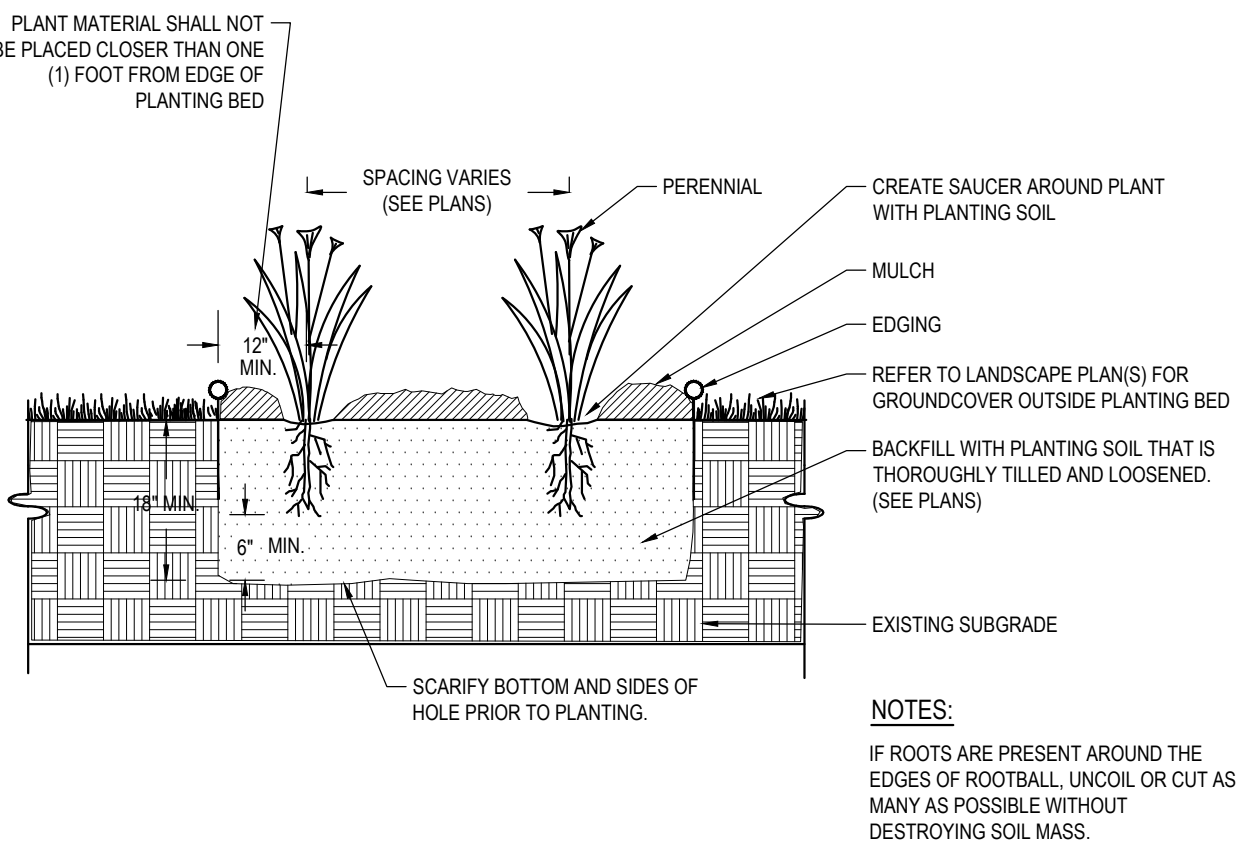
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4

PERENNIAL PLANTING

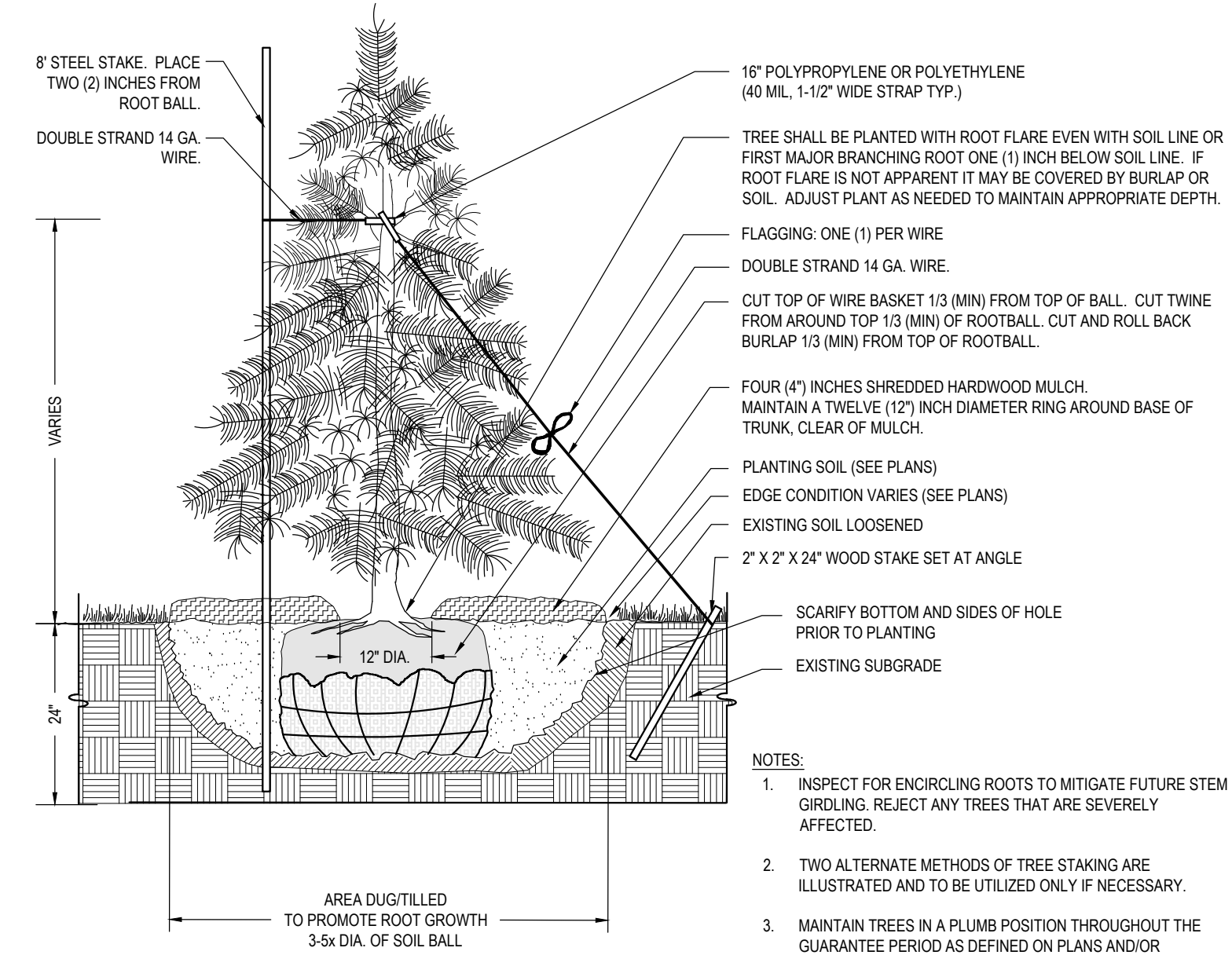
NO SCALE



2

CONIFEROUS TREE PLANTING

NO SCALE



DEVELOPER

RJ RYAN CONSTRUCTION INC.

110 MENDOTA HEIGHTS RD
MENDOTA HEIGHTS, MN 55120
TEL 651-681-0200

MUNICIPALITY



PROJECT

XYLITE
BUILDING
BLAINE, MN

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Joshua K. Pogehn
Joshua K. Pogehn
License No. 155533 Date: 07/15/2024

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WATERSHED RESUBMITTAL

07/15/2024



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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME L701RJ003.DWG

PROJECT NO. RJR23003

LANDSCAPE DETAILS

L7.1

COON CREEK WATERSHED DISTRICT
Request for Board Action

MEETING DATE: July 22nd, 2024
AGENDA NUMBER: 10
ITEM: Comprehensive Plan Clarification of Ham Lake Comments

AGENDA: Discussion

ACTION REQUESTED

1. Review and approve draft responses from the clarified Ham Lake comments on the Comprehensive Watershed Management Plan.

PURPOSE & SCOPE OF ITEM

- To summarize the District's responses to Ham Lake's clarified comments received on the draft Plan.

BACKGROUND

- The Board approved release of the Draft Plan for public comment that was released on December 21, 2023.
- The public comment period ended on February 23, 2024.
- The District received 298 public comments from nine state and local agencies. The District also received informal comments from staff and one Citizens Advisory Committee (CAC) member. A summary of these comments was presented to the Board on March 11th, 2024.
- The District must now respond to the public comments and hold a public hearing on the comment responses, and update the draft Plan, as necessary, before submitting the Plan to Board of Water and Soil Resources (BWSR) for final approval.
- The Board reviewed and approved draft responses at the July 8, 2024 Board meeting and approved a public hearing to be held on July 29, 2024.
- Comment responses were sent to review agencies on July 9th, 2024.

ISSUES/CONCERNS

1. Ham Lake Clarified Comments: Ham Lake resubmitted clarified comments to the District because their initial comments were somewhat illegible. Based on the more legible versions of Ham Lakes comments, four comment responses were revised (#113, 115, 116, and 120). Comment #72 and 119 were updated based on the more legible version, but the response did not change. The clarified comments were sent to the District on 7/3 but the revised responses weren't included in the 7/8 Board packet.
2. Comment and Response are Attached: A list of Ham Lake's clarified comments and draft District responses are included as an appendix.

IMPLICATIONS FOR RESOURCE/ORGANIZATION

- If the Board does not approve the draft responses to the clarified Ham Lake comments, staff will need to revise the responses and send them back to the City of Ham Lake. This would require the public hearing to be rescheduled to ensure the final comment responses are provided to the review agencies at least 10 days prior to the public hearing.
- This delay could make the District ineligible for a BWSR grant the District is pursuing that could provide hundreds of thousands of dollars for the Ditch 39 Bridgewater South filter project in 2025.

CONCLUSIONS

The District has compiled draft responses to the 298 public comments it received from nine state and local agencies on the Draft Plan. A public hearing has been scheduled for July 29th, 2024. Staff requests the Board approve the revised responses to the clarified comments from Ham Lake. This will allow the Plan to stay on track for the proposed approval timeline to enable the District to be eligible for a large BWSR grant for a 2025 project.

RECOMMENDATION

#	Date Received	Method Received	Name	Affiliation	Comment	Topic Area	Response
72	2/22/2024	Email	Dave Krugler	Ham Lake	Portion of tax? Part of budget to pay? 30%? maybe identify what Ham Lake's portion (as well as other Cities) portion would be and how it would be calculated	Funding	The exact portion of revenue Ham Lake is planned to contribute is unknown at this point. The estimated revenue Ham Lake will need to provide for joint TMDL projects is shown in figure 2.06. The methodology for estimating the cost share for each LGU is explained in section 2.3.2. The District will provide more detailed numbers closer to those dates when more information is available from completed subwatershed plans.
113	2/22/2024	Email	Dave Krugler	Ham Lake	Elected? not sure what not seeking an elected office has to do with making an operation environmentally safe	Clarification	This sentence states that identity networks may not always seek elected office.
115	2/22/2024	Email	Dave Krugler	Ham Lake	so 1/14.5 of the 109 square miles? why is Ham Lake not included in groundwater	Grammar	This table was an estimated of the FTEs in each water management domain for each LGU in the District. Ham Lake was estimated to have 1 FTE in the water quantity domain, but none in the groundwater domain.
116	2/22/2024	Email	Dave Krugler	Ham Lake	What are you annually monitoring for? Are you monitoring everything on the Previous Chart?	Grammar	Table 2.06 summarizes the monitoring activities the District conducts and the frequency.
119	2/22/2024	Email	Dave Krugler	Ham Lake	Recommend to move table to next page.	Grammar	Thank you for the comment.
120	2/22/2024	Email	Dave Krugler	Ham Lake	This corresponds to comments between the City and Coon Creek as to the requirement to add a 2-foot separation above the 100-year event. Unclear what safety factor you are requiring as the 100-year is a 7" storm event with a 1% chance, and then requiring an additional 2-feet of separation above that elevation. If the 7" storm is a safety factor of 10, what is 2'-7"? 44?	Grammar	The safety factor referenced here is a 2-foot vertical freeboard for habitable structures above the 1% (100yr) flood elevation. For example, if the 1% flood elevation at a site is 900', the freeboard for a habitable structure would be 2 feet above 900' at 902'.

COON CREEK WATERSHED DISTRICT Request for Board Action

MEETING DATE: July 22, 2024
AGENDA NUMBER: 11
ITEM: Preliminary Rough Draft 2025 Budget

AGENDA: Discussion

ACTION REQUESTED

1. Review, comment, and correct budget
2. Forward budget to Draft status for review at the August 14 meeting for review by the Advisory committees

PURPOSE AND SCOPE

- 1) To review a preliminary rough draft of the 2025 operating budget

BACKGROUND

In March the Board adopted a calendar and process for developing the 2025 budget. The process involves three phases: analysis of the parts, fine-tuning of the whole, and review and adoption of the final.

Attached is the first draft of the entire budget and the start of phase 2 of the budget process: Fine Tuning.

Revenues	2022 Actual	2023 Actual	2024 Budget	2024 Projected	2025 Prelim	% Chg
Fund Balance January 1	2,304,676	1,958,079	1,591,018	1,591,018	1,550,793	
Property Tax	3,027,370	3,187,821	4,965,765	4,965,765	6,008,576	21.00%
Fees & Charges	253,820	530,203	298,423	298,423	298,423	
Grants & Intergovernmental	638,274	399,031	314,539	314,539	2,566,549	
Other Revenue	25,926	26,963	28,042	28,042	115,000	
Fund Balance Used	387,302	342,274	40,225	40,225	40,225	
	4,332,692	4,486,292	5,646,994	5,646,994	9,028,773	
Total Funds Available	6,250,066	6,102,097	7,197,787	7,197,787	10,539,341	
Expenditures						
Salaries & Benefits	1,499,948	1,772,946	1,981,605	1,981,605	2,224,069	
Professional Services	939,376	363,632	589,000	589,000	489,487	
Operating Expenses	188,296	204,221	239,164	239,164	313,243	
Program Costs	1,277,544	2,196,554	2,680,517	2,680,517	5,789,607	
Capital Costs	9,600	31,395	156,708	156,708	198,174	
	3,914,764	4,568,748	5,646,994	5,646,994	9,014,580	
Fund Balance December 31	2,335,302	1,533,349	1,550,793	1,550,793	1,524,761	
Rev - Exp	417,928	(82,456)	-	-	14,193	

ISSUES/CONCERNS/OPPORTUNITIES

1. Initial Proposed Levy Amount: The levy increase used to balance the preliminary draft is 21%.
2. Technical Advisory Committee: The next Technical Advisory Committee meeting is scheduled for Thursday, August 8, four days before the next Board meeting. This happens approximately once every 7 years. The Board needs to authorize staff to release the Draft budget reviewed tonight with any corrections. The TAC comments will be reported at the August 12 Board meeting.
3. Next Steps: This draft serves to end phase 2 (the review and correct phase) of the budget process and will serve as the Draft used during phase 3 (the review correct and refinement stage) of the annual Budget process. Phase 3 occurs during August with review by the District's Advisory Committees and ends with approval of the Draft Budget and Notice of Public Hearing and adoption at the September 9 Board meeting.

IMPLICATIONS

- The budget as proposed allows the District to maintain services and minimally address the water quality issues.
- Any comments or corrections made tonight will be included in the Draft budget sent to the TAC.

CONCLUSIONS

The budget is a draft and requires discussion

RECOMMENDATION

- 1) Approve Distribution of this draft for Review by the Technical Advisory Committee at their August
- 2) Forward budget to Draft status for review at the August 12 meeting for review by the Advisory committees

Proposed Revenues

Code	Prepared 6/26/2024 10:55	2021 Actual	2022 Actual	2023 Actual	2024 Budget	2024 Projected	Current	2025 Change	Request	Change 24-25
	Property Taxes									
41101	Administrative Levy									
41102	Insurance Levy									
41103	MWMA Levy	2,577,244	2,691,777	3,027,370	4,965,765	4,965,765	4,965,765	1,042,811	6,008,576	21.00%
41104	Survey & Data Levy									
41105	Maintenance Levy									
	Total Property Taxes	2,577,244	2,691,777	3,027,370	4,965,765	4,965,765	4,965,765	1,042,811	6,008,576	21.00%
	Fees & Charges									
52226	Application Fees	1,750	1,820	1,850	850	650	850	-	850	
53191	Review & Inspect Fees	262,500	420,966	550,368	297,500	218,400	285,600	11,973	297,573	
	Total Fees	264,250	422,786	552,218	298,350	219,050	286,450	11,973	298,423	-
	Grants									
55190	EPA 319 Grant		21,000						-	
55190	Pet Waste 319 Grant				23,135	23,135	23,135	(12,459)	10,676	
55190	NKE Plan Impl 319 Grant			32,071	160,353	160,353	160,353	128,300	288,653	
55190	CCPSR CWF Grant		197,500	39,500					-	
55190	Aurelia Park CWF Grant		31,017	38,771					-	
55190	PCSIESF CWF Grant		132,000	33,000					-	
55190	ECIESF CWF Grant		172,500	138,000	34,500	34,500			-	
55190	WBIF 41,60,57 Sub Plan		41,580	108,189	86,551	86,551		86,551	86,551	
55190	WCA Admin	4,400	9,224	9,500	10,000	10,000		12,000	12,000	
55190	BWSR CWF WBIF Retro							178,000	178,000	
55190	BWSR CWF WBIF (24)							147,000	147,000	
	Task Force Funding									
	D17-SNBC Outlet Mod							142,400	142,400	
	PC-Pond Mod+ Blaine Basin							618,284	618,284	
	D39-Bridgewater SIESF							1,082,985	1,082,985	
	Total Grants	4,400	604,821	399,031	314,539	314,539	183,488	2,383,061	2,566,549	-
	Other Revenue									
56101	Interest Income	25,926	26,963	28,042	28,042	100,000	28,042	86,958	115,000	
	Fund Balances & Other									
	Building	-	-	-	-	-	-	-	-	
	AIS Rapid Response	40,000	40,000	40,000	40,000	40,000	40,000	-	40,000	
	Illicit Discharge Detection	225	225	225	225	225	225	-	225	
	Fund Equity Balance	40,225	347,077	302,049	-	-	-	-	-	
	Ditch Fund Balances									
	Ditch 54	-	-	-	-	-	-	-	-	
	Other Fund Balances	-	-	-	-	-	-	-	-	
	Total Fund Balances	80,450	387,302	342,274	40,225	40,225	40,225	-	40,225	
	TOTAL REVENUE	2,952,270	4,133,649	4,348,935	5,646,921	5,639,579	5,503,970	3,524,803	9,028,773	0

Salaries & Benefits

	Salaries & Benefits	2021 Actual	2022 Actual	2023 Actual	2024 Budget	2024 Projected	Current	2025 Change	Request	Pct Chng
60110	Salaries	\$ 1,333,723	\$ 1,164,379	\$ 1,330,378	\$ 1,448,994	\$ 1,448,994	\$ 1,506,954	\$ 101,437	\$ 1,608,391	11%
60260	Temporary Salaries - Students	\$ 17,952	\$ 17,129	\$ -	\$ 39,000	\$ 39,000	\$ 40,560	\$ 1,789	\$ 42,349	9%
60713	HRA payment	\$ 8,215	\$ 6,762	\$ 14,466	\$ 15,117	\$ 15,117	\$ 15,722	\$ 10,278	\$ 26,000	72%
60714	Health Insurance	\$ 182,383	\$ 121,640	\$ 208,094	\$ 235,020	\$ 235,020	\$ 244,421	\$ 32,528	\$ 276,949	18%
60715	Life Insurance	\$ 559	\$ 300	\$ 512	\$ 526	\$ 526	\$ 547	\$ (21)	\$ 526	0%
60716	Social Security (FICA)	\$ 101,372	\$ 89,075	\$ 102,845	\$ 114,673	\$ 114,673	\$ 119,260	\$ 7,940	\$ 127,200	11%
60717	Retirement (PERA)	\$ 100,769	\$ 84,418	\$ 96,674	\$ 107,880	\$ 107,880	\$ 112,195	\$ 7,483	\$ 119,679	11%
60720	Dental Insurance	\$ 7,805	\$ 5,580	\$ 7,605	\$ 7,605	\$ 7,605	\$ 7,909	\$ 1,100	\$ 9,009	18%
60721	LTD Insurance	\$ 2,104	\$ 1,048	\$ 1,422	\$ 1,790	\$ 1,790	\$ 1,862	\$ 105	\$ 1,967	10%
60850	Board & Advisory Committee	\$ 10,050	\$ 9,617	\$ 10,950	\$ 11,000	\$ 11,000	\$ 11,440	\$ 560	\$ 12,000	9%
	Total Salaries & Benefits	\$ 1,764,932	\$ 1,499,948	\$ 1,772,946	\$ 1,981,605	\$ 1,981,605	\$ 2,060,869	\$ 163,200	\$ 2,224,069	12%

Professional Services

		2022	2023	2024	2024	2025	2025	2025	
	Services	Actual	Actual	Budget	Projected	Current	Change	Request	
63010	GIS Services	\$ 104,837	\$ 111,700	\$ 117,286	\$ 116,900	\$ 121,977	\$ 17,134	\$ 139,111	19%
63052	Accounting/HR	\$ 5,050	\$ 5,252	\$ 5,252	\$ 75,000	\$ 5,462	\$ 98,783	\$ 104,245	1885%
63052	Audit	\$ 11,960	\$ 12,438	\$ 12,438	\$ 13,913	\$ 12,936	\$ 3,064	\$ 16,000	29%
63066	IT Services	\$ 47,250	\$ 58,336	\$ 58,336	\$ 64,790	\$ 60,669	\$ 20,362	\$ 81,031	39%
63246	Engineering Services	\$ 718,279	\$ 143,758	\$ 143,758	\$ 81,000	\$ 149,508	\$ (60,408)	\$ 89,100	-38%
63453	Legal Services	\$ 52,000	\$ 54,080	\$ 54,080	\$ 58,252	\$ 56,243	\$ 3,756	\$ 60,000	11%
		\$ 939,376	\$ 385,564	\$ 391,150	\$ 409,855	\$ 406,796	\$ 82,691	\$ 489,487	25%

Operating Costs

	Prepared	2022	2023	2024			2025			Change
Code	6/17/2024 12:46	Actual	Actual	Budget	Projected	Var.	Current	Change	Request	24-25
	Operating Expenses									
61101	Small Equipment (furn/off/comp/misc)	23,505	18,020	37,203	37,203	0%	38,691	809	39,500	6%
61102	Printing	-	-	4,040	4,040	0%	4,202	(202)	4,000	-1%
61105	Cleaning & Janitorial Supp	10,062	15,487	16,222	16,218	0%	16,871	(4)	16,867	4%
61110	Gasoline/Oil/License	15,025	16,377	17,377	16,377	-6%	18,072	(2,072)	16,000	-8%
61149	Gen'l Supplies (office)	18,914	19,031	20,033	12,993	-35%	20,834	(10,203)	10,632	-47%
61249	R&M Phone Hardware	3,000	2,350	3,450	3,000	-13%	3,588	(538)	3,050	-12%
61250	R&M Buildings	12,205	15,166	22,412	23,000	3%	23,308	1,172	24,480	9%
61251	R&M Office Machine & Equip	1,046	3,588	5,900	-	-100%	6,136	7,344	13,480	228%
61263	R&M Security	1,030	1,071	1,125	1,171	4%	1,170	1,495	2,665	137%
61354	Training & Conferences-Board/Other	2,352	2,000	500	300	-40%	520	(220)	300	-40%
61355	Training & Conferences-Staff Dev	11,356	11,810	10,620	9,820	-8%	11,045	3,911	14,956	41%
61475	Mileage	2,718	2,827	683	600	-12%	710	(80)	630	-8%
61476	Other Travel Exp, Parking	0	40	40	40	0%	42	(2)	40	0%
61477	Meals & Lodging	2,000	1,750	2,965	2,965	0%	3,084	1,216	4,300	45%
61552	Bank Charges	732	761	799	1,065	33%	831	287	1,118	40%
61557	Dues & Memberships	10,529	15,650	17,000	15,450	-9%	17,680	10,475	28,155	66%
61558	Advertising	1,574	1,637	1,650	500	-70%	1,716	(716)	1,000	30%
61559	Subscriptions & Publications	1,485	2,744	4,243	5,645	33%	4,413	4,922	9,335	87%
61575	Books & Software	7,765	18,498	33,558	33,558	0%	34,900	6,883	41,784	25%
61810	Misc & Contingency	-	-	0	-	#DIV/0!	-	1,750	1,750	#DIV/0!
62119	Web Site Server	889	1,000	1,995	1,930	-3%	2,075	(185)	1,890	-5%
62124	Leases & Rentals	5,594	5,818	3,600	4,692	30%	3,744	1,003	4,747	32%
62225	Utilities-Heat/Natural Gas	2,405	2,501	2,626	2,700	3%	2,731	185	2,916	11%
62226	Utilities-Electric	5,287	10,258	5,696	5,356	-6%	5,924	(116)	5,808	2%
62228	Utilities-Waste/Recycle Disposal	1,046	1,300	1,418	1,550	9%	1,475	199	1,674	18%
62229	Phones	15,200	17,884	18,778	17,000	-9%	19,529	(1,169)	18,360	-2%
62231	Postage	987	1,027	975	500	-49%	1,014	(489)	525	-46%
62273	Cable	7,005	7,285	7,649	6,500	-15%	7,955	(935)	7,020	-8%
62370	Insurance-Liability	16,624	18,500	19,425	14,545	-25%	20,202	(4,930)	15,272	-21%
62372	Insurance-Property	1,004	4,700	4,935	8,861	80%	5,132	4,172	9,304	89%
62373	Insurance-Work Comp	5,228	5,437	5,709	9,913	74%	5,937	4,471	10,409	82%
62374	Insurance-Vehicles	941	1,135	1,192	1,216	2%	1,240	37	1,277	7%
	Total Operating Expenses	187,508	225,652	273,818	258,708	-6%	284,771	27,864	313,242	14%

Program Costs

Administration

	2020	2021	2022	2024	2025	
Service Providers	Actual	Actual	Actual	Budget	Projected	Current
Administration						
Field Supplies	500	500	735	750	750	788
Total						(38)
						750

Operations & Maintenance

	2020	2021	2022	2024	2025	
Service Providers	Actual	Actual	Actual	Budget	Projected	Current
Operations & Maintenance						
Engineering/Feasibility Studies	-	-	30,000	30,000	30,000	31,500
AOP Crossing Enhancement				0	0	-
CC Restoration 131st to Main				0	0	-
University Ave Pond Retrofit				0	0	-
Woodbridge Channel Improvement				0	0	-
Bank Repair & Stabilization	856,208	593,050	58,240	125,000	125,000	131,250
Ditch Repair & Maintenance	124,021	58,000	137,280	100,000	100,000	105,000
Non-routine Maintenance	-	56,000	88,400	96,000	96,000	100,800
Field Supplies	1,000	600	4,625	1,400	1,400	1,470
						30
						1,500

Planning

Planning & Special Studies						
Boundary Adjustments	-	3,500	3,500	3,000	3,000	-
Water Quality Model	-	-	70,000	0	0	-
Model Updates				50,000	50,000	52,500
Watershed Modeling Pilot Upgrade	6,240	6,490	20,800	0	0	-
Aquatic Organism Passage Enhancement Ph 2	-	-	-	75,000	75,000	-
Subwatershed Planning/Assessments	-	-	-	228,000	228,000	-
Subwatershed Feasibility Designs	-	-	-	0	0	-
Channel Geomorphic Analysis	-	-	-	0	0	-
Drainage Atlas				0	0	-
Water Quantity Studies	-	-	-	0	0	-
Economic Resource Study				125,000	125,000	-
MN Partner Funding Research Council	-	-	-	10,000	10,000	-
Groundwater Study/Assessment	-	-	-	5,000	5,000	-
						90,000
						90,000

Public and Governmental Affairs

Public & Government Relations						
Information						
Springbrook I & E Implementation	-	-	-	69,900	69,900	-
Targeted Pleasure Cr Subwatershed I & E Implementation	-	-	-	19,900	19,900	-
NKE Sand Creek Trail Audience Survey	-	-	-	15,000	15,000	-
Website Updates				0	0	-
Digital Communications				0	0	-
Creek/Ditch Signage	-	-	-	11,000	11,000	11,550
Involvement						
Audience Community Survey	23,750	24,050	26,000	28,393	28,393	29,813
Interactive Educational Displays						-
Water Education Grants	850	4,250	3,745	3,867	3,867	4,060
Newsletter Communications				0	0	-
Sponsorships	-	-	-	1,750	1,750	1,838
Outreach						
Adopt-A-Drain	10,000	6,500	6,864	6,000	6,000	6,300
Pet Waste	7,435	17,500	18,000	10,288	10,288	10,802
Field Supplies	1,103	2,444	6,614	3,815	3,815	4,006
						(800)
						(1,456)
						2,550

Water Quality

		2020	2021	2022	2024		2025			
	Service Providers	Actual	Actual	Actual	Budget	Projected	Current	Change	Request	
Water Quality	AIS Rapid Response	3,092	-	5,000	20,000	20,000	21,000	200	21,200	
	Lake Plan Implementation	1,215	2,776	2,887	5,000	5,000	5,250	50	5,300	
	Monitoring	89,113	96,400	99,746	110,489	110,489	116,013	1,105	117,118	
	WQ Cost Share Program	55,418	76,000	75,000	215,000	215,000	225,750	64,250	290,000	
	Groundwater-Surface Water Chlorides Pilot	-	-	-	35,000	35,000	36,750	37,662	74,412	
	Biomonitoring				0	0	-	32,000	32,000	
	Pond Performance Evaluation				0	0	-	5,000	5,000	
	Street Sweepings Testing	-	-	-	15,000	15,000	-	0	0	
	Contaminants of Emerging Concern	-	-	-	50,000	50,000	-	0	0	
	Winter Chloride Monitoring	-	-	-	6,000	6,000	-	0	0	
	PC MNDot Pond Outlet Modification	-	-	-	21,000	21,000	-	0	0	
	Springbrook Nature Center Outlet Modificaion	-	-	-	22,500	22,500	-	0	0	
	Sand Creek AOP crossing Enhancement @ Xeon	-	-	-	115,000	115,000	-	0	0	
	Field Supplies	3,000	3,666	7,547	2,566	2,566	2,694	1,256	3,950	
	Multi-Revenue Source Projects									
	CRD Reg Park LCC Corridor Restoration-Expansion					0	0	-	695,000	695,000
	Springbrook Cr Subwatershed plan					90,000	90,000	94,500	158,200	252,700
Pleasure Cr Subwatershed plan					87,500	87,500	91,875	717,935	809,810	
Subwatershed Planning-D39					0	0	-	1,482,500	1,482,500	

Watershed Development

		2020	2021	2022	2024		2025		
	Service Providers	Actual	Actual	Actual	Budget	Projected	Current	Change	Request
Watershed Development									
	Illicit Discharge Detection	590	800	850	900	900	900	0	900
	Groundwater-Surface Water Dewatering Study	-	-	-	15,000	15,000	-	0	0
	District Rule Amendment				0	0	-	7,950	7,950
	Engineering	-	-	-	400,000	400,000	420,000	(70,000)	350,000
	Field Supplies	1,025	500	950	500	500	525	75	600

Capital Equipment

	Prepared	2021	2022	2023	2024			2025			Change
Code	6/26/2024 10:57	Actual	Actual	Actual	Budget	Projected	Var.	Current	Change	Request	24-25
Capital Equipment											
65180	Building Improvements	28,000	0	8,000	97,350	97,350	0%	30,350	44,496	74,846	-23%
	Blinds	8,000	0	-	0			-	-		
	Landscaping	2,000	0	8,000	0			-	10,000		
	Keyless Entry-Rekey				20,900			-	-		
	Handicap Doors				11,100			-	-		
	Hex Pave/Auxiliary parking				21,000			21,000	24,000		
	Rear Parking Paving				35,000			-	-		
	Parking Lot Netting				9,350			9,350	1,496		
	3 bathroom fixtures/counters							-	9,000		
65230	Monitoring & Field	0	0	13,795	14,000	14,000	0%	-	54,828	54,828	292%
	Portable Velocity/Depth Sensor			-	14,000	-		-	-		
	Backpack Electrofisher							-	14,828		
	GNSS Receiver							-	40,000		
65250	Vehicle	0	55,000	0	0	-	#DIV/0!	-	41,500	41,500	100%
	SUV - Truck(s)		55,000	-		-		-	41,500		
65270	Telecommunications	0	0	-	0	-	#DIV/0!	-	-	-	#DIV/0!
								-	-		
65340	Office Equipment/Furniture	0	0	-	16,000	16,000	0%	-	-	-	0%
	Training Tables & Chairs				16,000			-	-		
65380	Computers & Equipment	15,095	11,100	-	0	-	#DIV/0!	-	12,000	12,000	100%
	Monitors/computers	15,095	11,100	-		-		-	-		
	Sharpboard							-	12,000		
65390	Software	0	0	-	29,358	29,358	0%	-	15,000	15,000	-49%
	MS4 Modules				0			-	15,000		
	Sage IntAcct				14,358			-	-		
	Website Migration				15,000			-	-		
Total Capital Equipment		43,095	66,100	21,795	156,708	156,708	0%	30,350	167,824	198,174	26%

COON CREEK WATERSHED DISTRICT
Request for Board Action

MEETING DATE: July 22, 2024
AGENDA NUMBER: 12
ITEM: CCWD on Local Community Access TV

AGENDA: Informational

ACTION REQUESTED

None

PURPOSE AND SCOPE

Informing our constituents about the CCWD Mission and local water issues so they can make better-informed decisions regarding water resources.

BACKGROUND

Local media contacts were invited to the CCWD 65th Anniversary Open House held on May 28th, 2024, to highlight CCWD successes, issues of concern, projects, and expertise. They were not available to attend the open house since both local community access stations were covering city council meetings that evening.

However, both stations requested interviews and opportunities for filming current projects after the Open House. When they were also notified that our District Administrator was honored for his 34 years of service at the Open House, arrangements were made for both stations to come to the CCWD office to interview District Administrator Tim Kelly about the District, certain projects, and his tenure at CCWD. Staff also provided other opportunities for filming projects and staff activities.

The two videos are available on YouTube:

North Metro TV (Blaine, Ham Lake, Spring Lake Park):
<https://www.youtube.com/watch?v=sX3navvYzNo>

Quad City TV (Andover, Anoka, Champlin, Ramsey)
<https://www.youtube.com/watch?v=58NTiI811kc>